

# Site Plans

August 12, 2020

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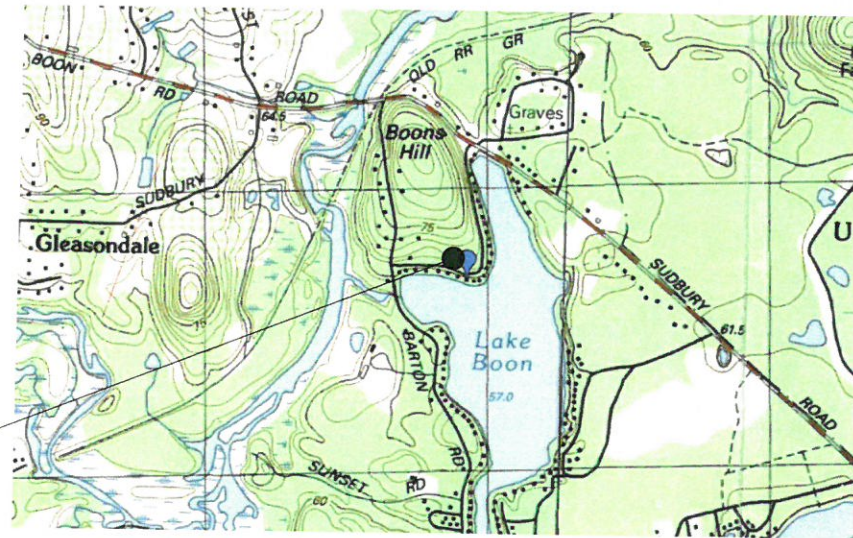
## Proposed Residence

74 Pine Point Road

Stow, Massachusetts 01775

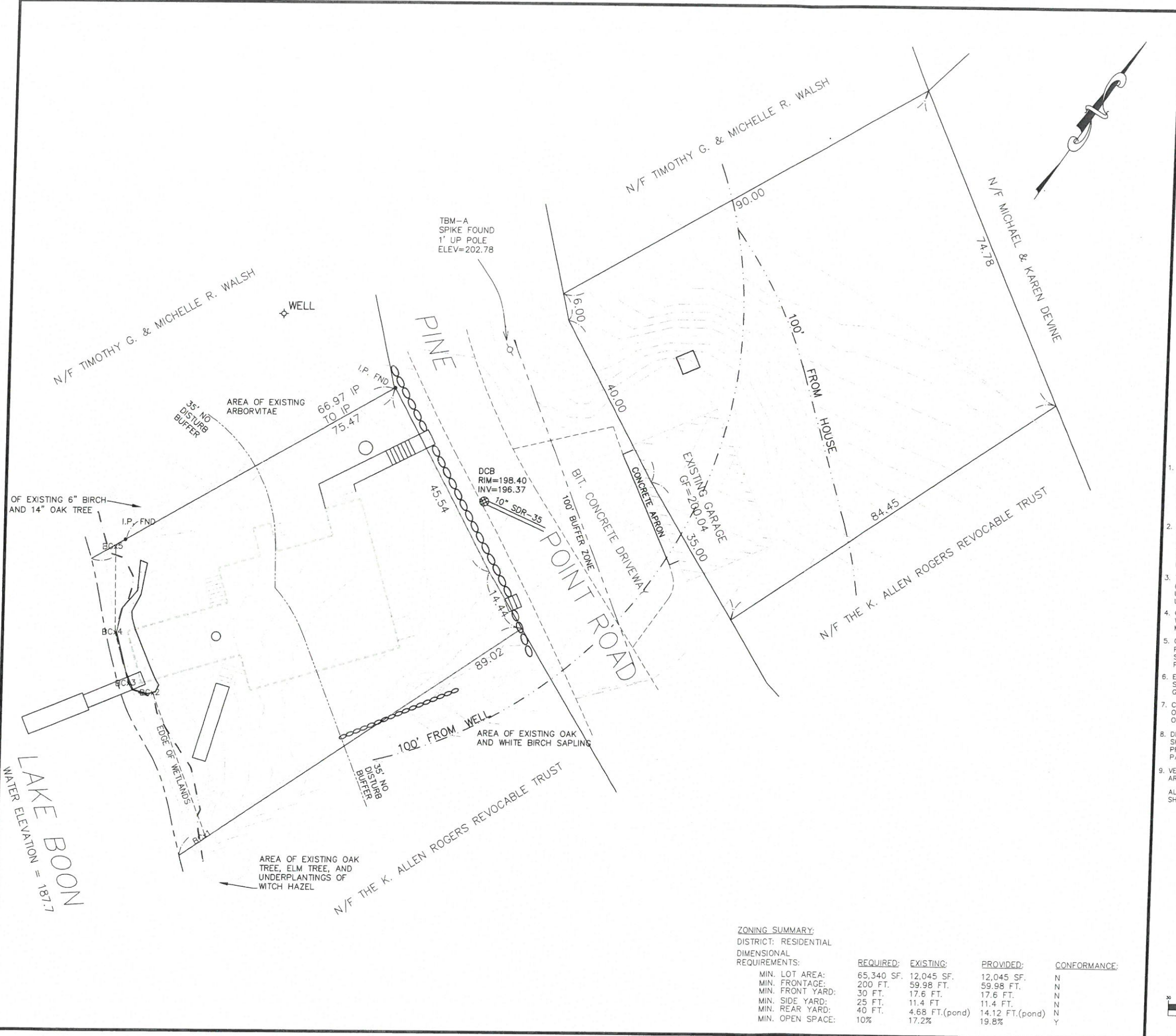
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PROJECT SITE



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Sheet No.	Sheet Title
	Cover Sheet
1	Existing Conditions Plan
2	Site Plan
3	Grading Plan
4	Landscape Plan



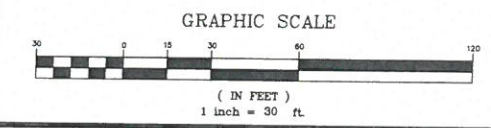
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  - THE PROJECT SITE DOES NOT CONTAIN ANY ESTIMATED HABITATS, PRIORITY HABITATS, OR CERTIFIED VERNAL POOLS BASED ON A REVIEW OF THE MASSACHUSETTS NATURAL HERITAGE ATLAS, 13TH EDITION, AND MASS GIS ONLINE MAPPING TOOL.
  - DEED REFERENCE: DEED BOOK 71944, PAGE 326
  - ASSESSORS REFERENCE: MAP U01 LOT 0270
  - ALL ELEVATIONS REFER TO NAVD 1988
  - THE WELL SERVING THE EXISTING HOUSE IS IN THE BASEMENT

**GENERAL NOTES**

- THE CONSTRUCTION OF ALL PROPOSED UTILITIES SHALL CONFORM TO THE TOWN OF STOW STANDARDS AND SPECIFICATIONS, LATEST EDITION, AS WELL AS THE COMMONWEALTH OF MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS STANDARDS AND SPECIFICATIONS, LATEST EDITION. CONTRACTOR SHALL CONFORM TO ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES AND REQUIREMENTS DURING CONSTRUCTION.
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**ZONING SUMMARY:**

DISTRICT: RESIDENTIAL	REQUIRED:	EXISTING:	PROVIDED:	CONFORMANCE:
MIN. LOT AREA:	65,340 SF.	12,045 SF.	12,045 SF.	N
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MIN. FRONT YARD:	30 FT.	17.6 FT.	17.6 FT.	N
MIN. SIDE YARD:	25 FT.	11.4 FT.	11.4 FT.	N
MIN. REAR YARD:	40 FT.	4.68 FT.(pond)	14.12 FT.(pond)	N
MIN. OPEN SPACE:	10%	17.2%	19.8%	Y



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THESE PLANS WERE PREPARED FOR THE PURPOSE OF OBTAINING STATE AND LOCAL PERMITS AND ARE NOT INTENDED TO BE USED AS CONSTRUCTION DOCUMENTS.

No.	Date	Revision

Drawn By: \_\_\_\_\_ Designed By: \_\_\_\_\_ Checked By: \_\_\_\_\_  
lcg lcg

**McCarty Engineering, Inc.**  
Civil Engineers  
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phone:(978) 534-1318 fax: (978) 840-6907  
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Project Name  
**74 Pine Point Road  
Stow, MA**

Sheet Title  
**Existing Conditions  
Plan**

Job No: 231  
File Name: 231-CPG01  
Date: August 7, 2020  
Scale: 1"=30'

Sheet No.  
**1**



**LOCUS PLAN**  
1"=1,500 FT.±

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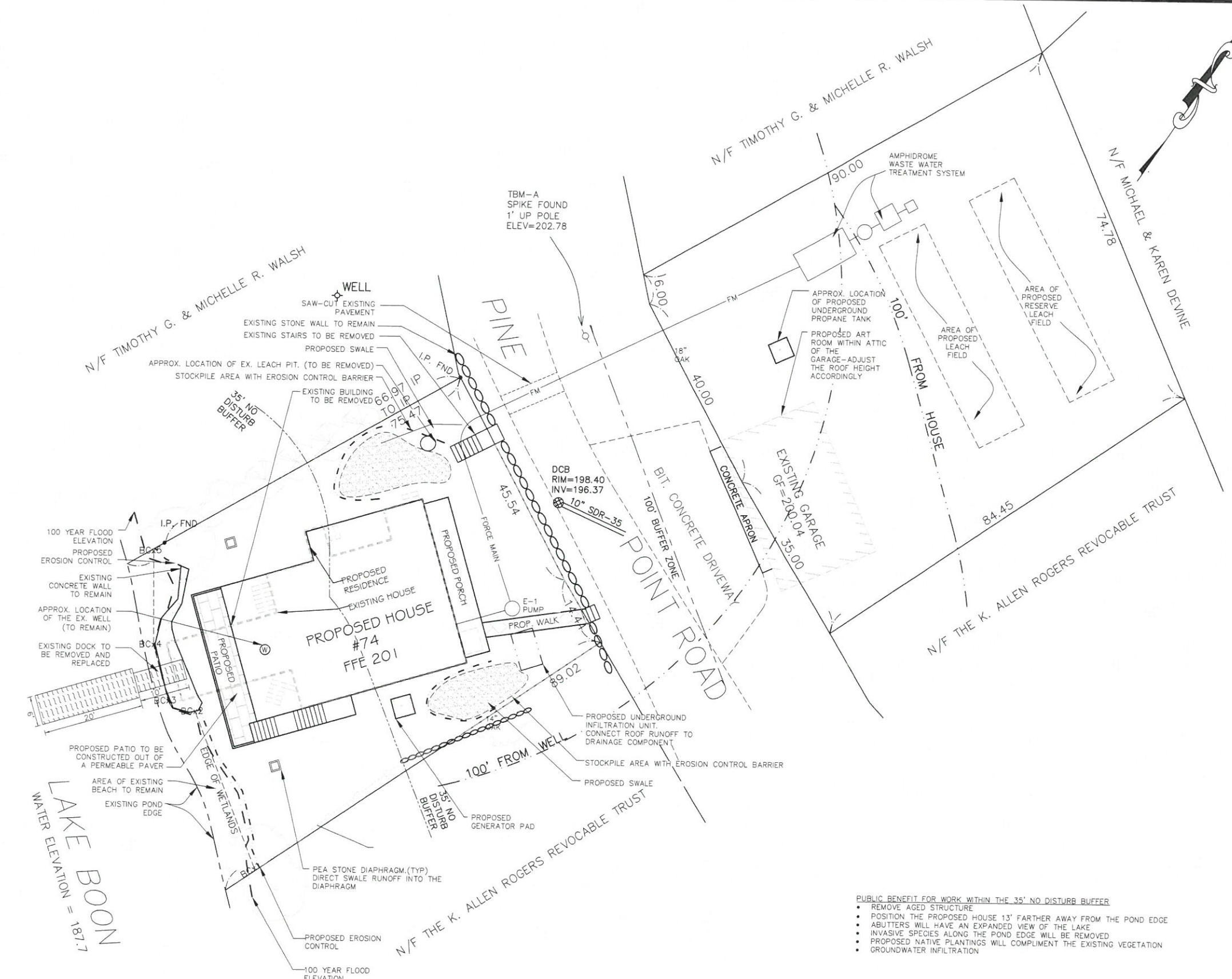
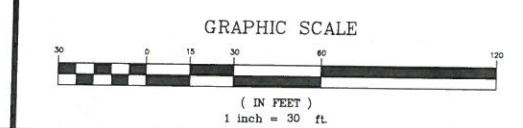
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**STRUCTURES WITHIN THE 35' NO DISTURB BUFFER**

EXISTING HOUSE: 705 SF.	PROPOSED HOUSE: 735 SF.
CONCRETE WALL: 101 SF.	PROPOSED PATIO: 185 SF (PERVIOUS)
	EX. CONCRETE WALL: 101 SF.



- PUBLIC BENEFIT FOR WORK WITHIN THE 35' NO DISTURB BUFFER**
- REMOVE AGED STRUCTURE
  - POSITION THE PROPOSED HOUSE 13' FARTHER AWAY FROM THE POND EDGE
  - ABUTTERS WILL HAVE AN EXPANDED VIEW OF THE LAKE
  - INVASIVE SPECIES ALONG THE POND EDGE WILL BE REMOVED
  - PROPOSED NATIVE PLANTINGS WILL COMPLIMENT THE EXISTING VEGETATION
  - GROUNDWATER INFILTRATION

- PUBLIC BENEFIT FOR WORK WITHIN 100' WETLAND BUFFER**
- AGED LEACH FIELD WILL BE REMOVED
  - ROOF RUNOFF WILL BE INFILTRATED
  - INVASIVE SPECIES REMOVAL
  - THE PROPOSED SEPTIC SYSTEM WILL BE SITUATED OUTSIDE THE 100' WETLAND BUFFER

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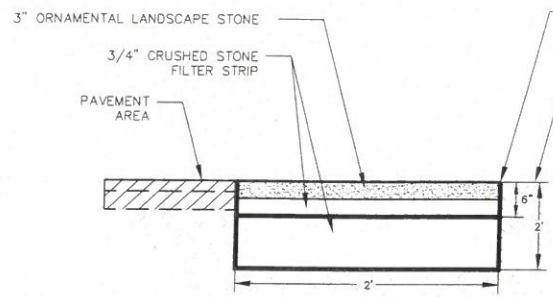
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No.	Date	Revision
3	08/12/20	Plan Revisions
2	08/07/20	Plan Revisions
1	07/01/20	Plan Revisions

Drawn By: lcp    Designed By: lcp    Checked By: \_\_\_\_\_

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Project Name  
**74 Pine Point Road**  
Stow, MA  
Sheet Title  
**Site Plan**

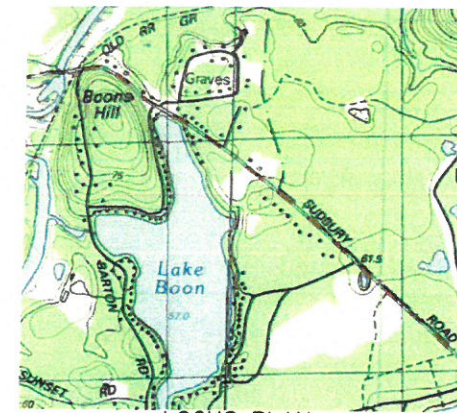


PEA STONE DIAPHRAGM DETAIL  
N.T.S.

MIRAFI 140N FILTER FABRIC OR EQUIVALENT AT BOTTOM OF TRENCH AND AT 6" BELOW SURFACE STONE FOR MAINTENANCE

LANDSCAPE/LAWN AREA

TBM-A SPIKE FOUND 1' UP POLE ELEV=202.78



LOCUS PLAN  
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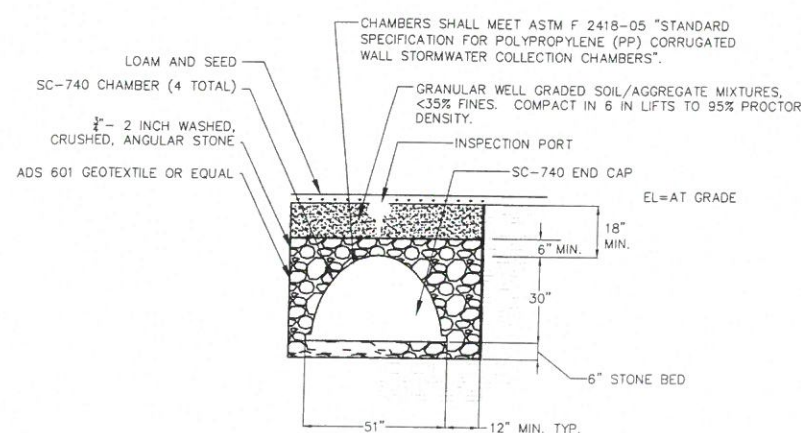
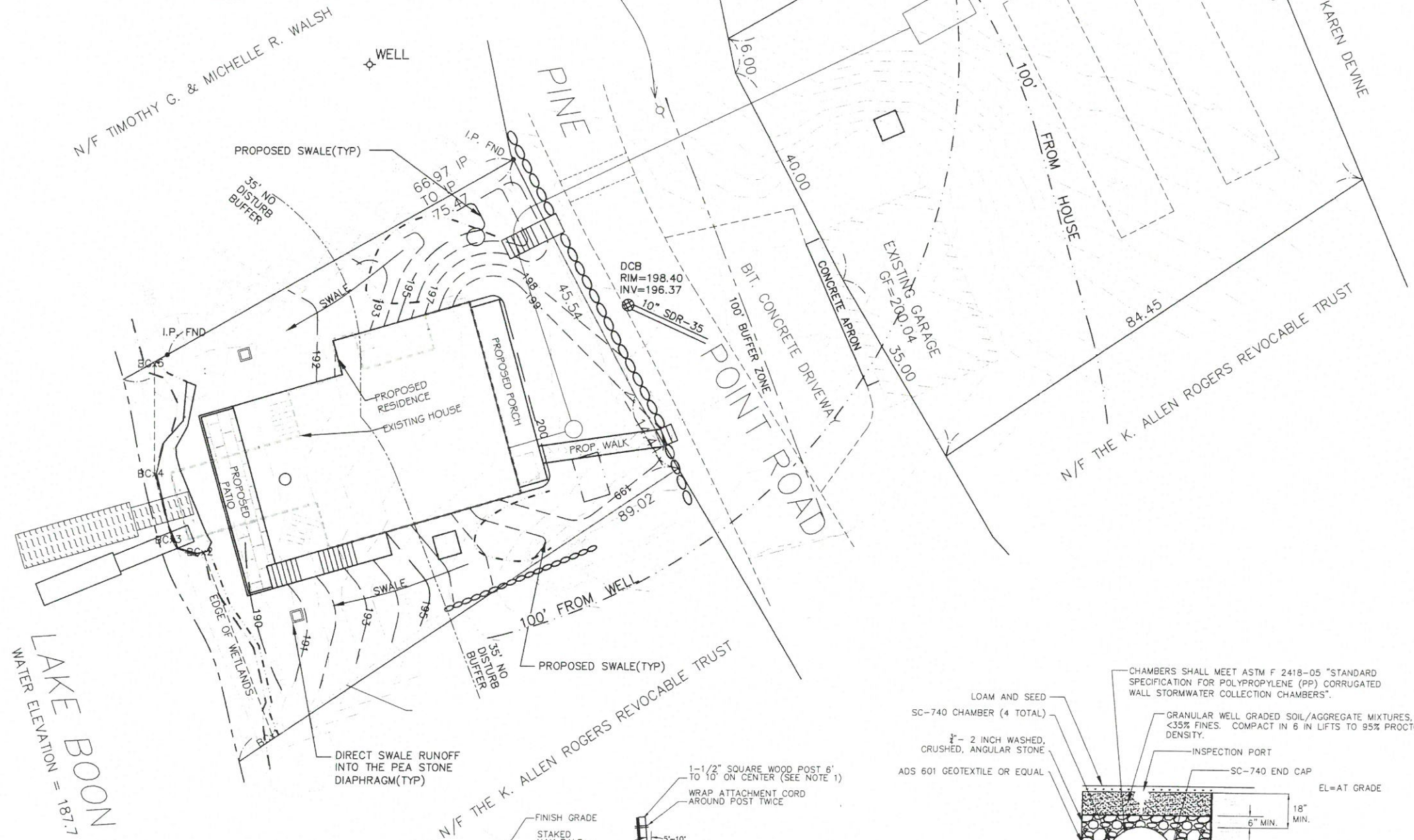
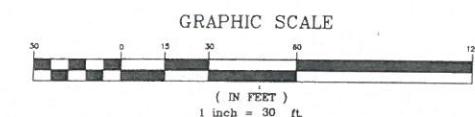
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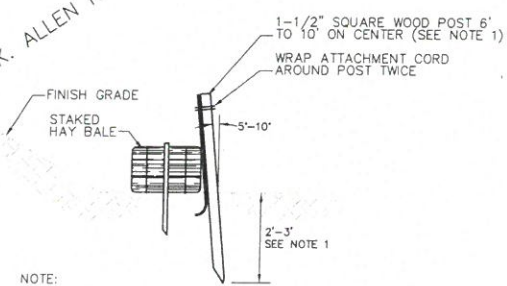
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INFILTRATION UNIT  
N.T.S.



NOTE:  
1. DEPTH MAY VARY WITH TRIBUTARY AREA:  
2 FT. FOR 100 SF/LF FENCE; 3 FT. FOR 500 SF/LF FENCE, UNLESS POST IS TO BE SET IN FEET THEN 3 FT. OR DEPTH POSSIBLE BY PUSHING BY HAND SHALL BE REQUIRED.

HAY BALE/SILT FENCE DETAIL  
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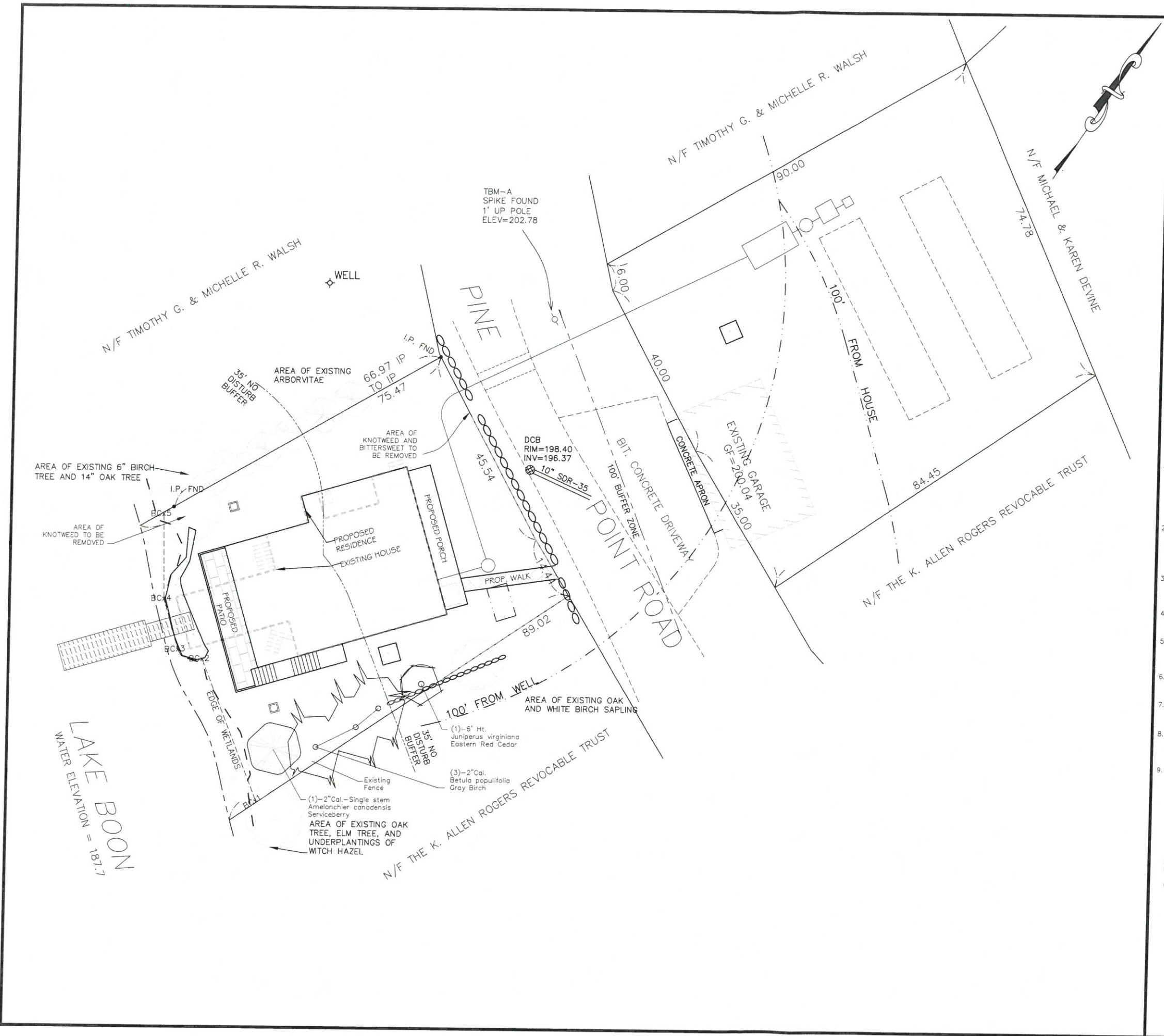
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Project Name  
**74 Pine Point Road  
Stow, MA**

Sheet Title  
**Grading Plan**

Job No: 231  
File Name: 231-CPG01  
Date: April 03, 2020  
Scale: 1"=30'  
Sheet No.  
**3**



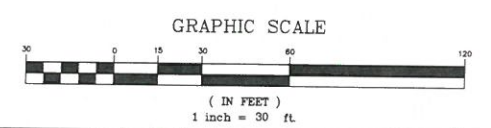
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