

S. C. Quinn Electric

PO Box 187

Stow, MA 01775

August 28, 2017

Zoning Board of Appeals

Stow, Massachusetts 01775

RE: 43-45 crescent St Special Permit Application

This letter is a description of proposed use filed with my application for a Special Permit for a change of use in existing, non-conforming structure located at 43-45 Crescent St.

I am an electrical contractor currently with six employees. I lease approximately 1900 sq. ft. of a roughly 3700 sq.ft. building in space formerly used for auto repair, auto body and auto detailing.

Business hours are typically 7:00 AM- 5:00 PM Monday-Friday. The proposed use for the building is to operate my business from this location. The operations from this location include office and administration work and storage of materials and tools. Office and administrative duties are handled by me with sporadic trips to the office during the day and usually Saturday mornings.

All of this activity takes place within the structure. There is no outside storage of materials.

I also park company vehicles in the designated parking area for employee use. Most employees arrive for work at the office between 7:00-7:30 AM and drive a company vehicle to the job site. Between 3:00-5:00 PM they return, park the company vehicle and leave in their own car. No electrical contracting work takes place at the site. Currently, I have five company vehicles, some of which employees take home and seldom report to the office on a daily basis.

Parking for my operations are located in front of, and to the left side of 45 Crescent St.

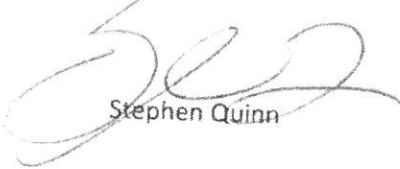
Most of our stock and materials are either picked up at the supply houses or delivered to the job site. Occasionally, but not often, I will receive a delivery at the office. Usually delivered by

UPS or another similar carrier similar to residential deliveries. I do not have a mail box at this location and use a PO Box for mail delivery.

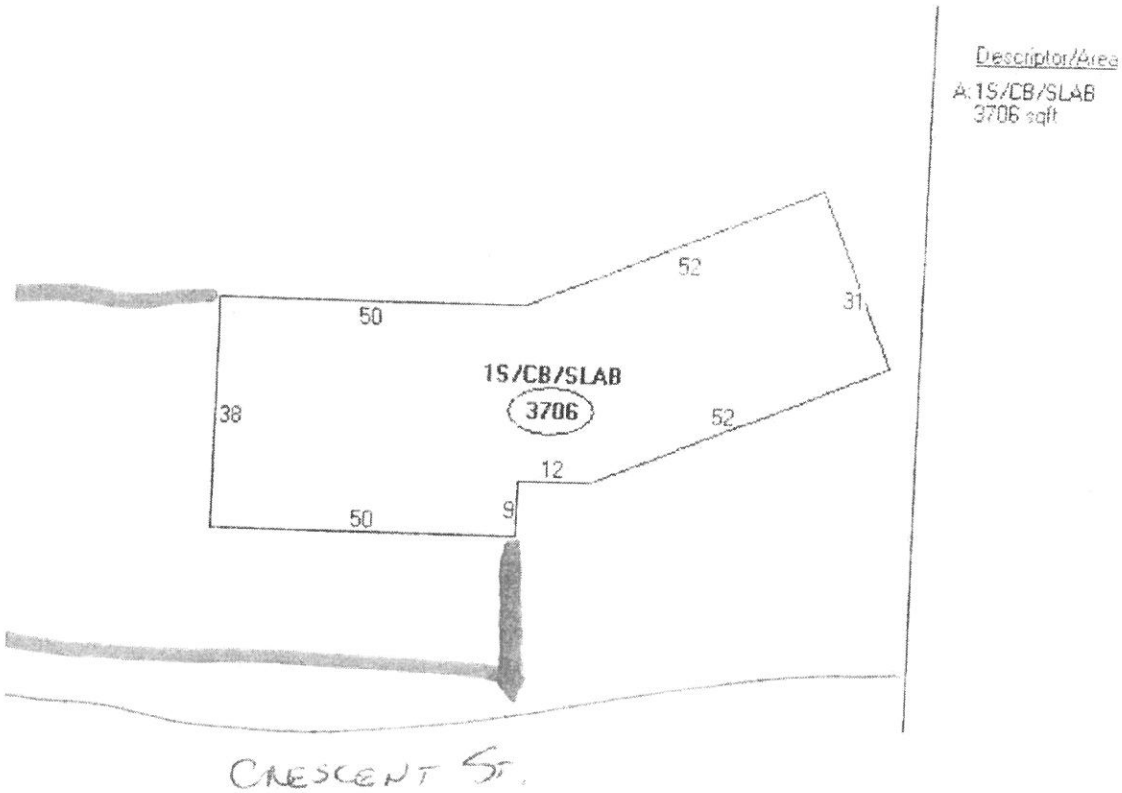
I occasionally share use of a dumpster with garage next door. Most of our garbage and debris is generated and disposed of at off site job locations.

In summary, the space is used for office, storage within, vehicle parking and reporting of employees in the morning and dismissal of employees in the afternoon.

Sincerely



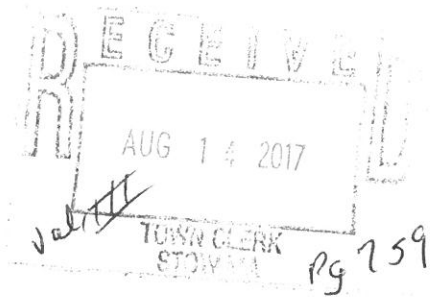
Stephen Quinn



- QUINN ELECTRIC SPACE

- PARKING

ZONING BOARD OF APPEALS
STOW, MASSACHUSETTS 01775



APPLICATION FOR HEARING

Please follow the instructions carefully. Failure to complete the form properly or to supply the required plan, properly engineered, will result in denial of the request. Submission of the form to the Board for review prior to filing is strongly recommended.

1. Nature of relief sought. Circle only one. If multiple relief is sought, complete a form for each item.
 - a. PETITION FOR VARIANCE: Applicable Bylaw Section _____
 - b. APPLICATION FOR SPECIAL PERMIT: Applicable Bylaw Section 3.9
 - c. APPEAL FROM UNFAVORABLE ACTION: Specify action _____
Board or Official _____ Date of Action _____
 - d. OTHER (Specify) _____

2. Name of Applicant STEPHEN QUINN - OWNER QUINN ELECTRIC
Address PO Box 197 Stow, MA
State MA Zip Code 01775

3. Location of Property 43-45 Crescent St
Assessors' Map # U-10 Parcel # 29 Area in sq. ft. _____
Applicant is Owner _____ Tenant Agent/Attorney _____ Purchaser _____
Property Owner Name LW LEWIS ASSOC.
Address 26 Reid Rd Chelmsford, MA 01824 Telephone (978) 256-4402

4. Definitive plan(s) or site plans in accordance with the accompanying instruction sheet shall be included with the application.
N/A NO EXTENSION MODIFICATIONS

5. Description of problem for which relief is sought. If a request for lot line variance(s), state the variance(s) sought in actual feet.

6. Justification for request: APPLICATION FOR SPECIAL PERMIT TO ALLOW CHANGE OF USE TO CONTRACTOR IN EXISTING NON CONFORMING STRUCTURE

7. List of names and addresses of abutters and abutters of abutters within 300 feet of the property line of the petitioner, together with a copy of the Assessors' map showing the corresponding locations of those names listed.

I hereby certify that I have read and complied with the instructions accompanying this application and request a hearing before the Board of Appeals.

Signature of applicant or representative [Signature]

Address PO Box 177 Stow, MA 01775 Telephone (978) 790-3169

Owner's permission (if other than applicant) [Signature: J. K. Affronowski]

WARNING

Failure to provide all of the information and documentation as required by the Stow Board of Appeals rules, regulations and instructions for filing an application for special permit or a petition for variance may very well result in an automatic denial by the Board after opening the public hearing.

Read and understood: [Signature]
Signature of Applicant/Petitioner

8/10/17



Town of Stow
BOARD OF ASSESSORS

380 Great Road
Stow, Massachusetts 01775-1122
(978) 897-4597
FAX (978) 897-4534

August 3, 2017

Abutters List for: 43 Crescent St.

Requested by: Stephen Quinn
978 790-3169

pt v# 3258

Total Due:	Abutters List:	\$ 20.00
	Labels: 3 Pages @ \$2.00	\$ 6.00
	Total Due:	\$ 26.00

Remit to: Assessors Office
380 Great Road
Stow, MA 01775

PLEASE MAKE CHECKS PAYABLE TO THE TOWN OF STOW

43 CRESCENT STREET MAP U-10 PARCEL 29

MAP/PARCEL	PROPERTY LOCATION	OWNER NAME 1	OWNER NAME 2	MAILING ADDRESS	CITY	STATE	ZIP CODE	DEED BOOK	DEED PAGE
00R-17 0003-1	WARREN RD	PILOT GROVE LIMITED PARTNERSHIP	C/O MARVIN F POER AND CO	P.O. BOX 52427	ATLANTA	GA	30355	20334	302
00U-10 000014	40 CRESCENT ST	TOWN OF STOW	STORAGE BLDG.	TOWN HALL	STOW	MA	01775	6575	575
00U-10 000015	CRESCENT ST	TOWN OF STOW	HILLSIDE CEMETERY	TOWN HALL	STOW	MA	01775	0	0
00U-10 000018	64 CRESCENT ST	STUNTZ KAREN W	ZITO VINCENT P	64 CRESCENT ST	STOW	MA	01775	68697	203
00U-10 000029	43 CRESCENT ST	LEWIS L W ASSOCIATES LLC		P.O. BOX 251	STOW	MA	01775	37460	318
00U-10 0034-1	353 GREAT RD	FIRST PARISH CHURCH UNITARIAN		353 GREAT RD	STOW	MA	01775	10409	535
00U-10 000012	28 CRESCENT ST	BENNETT LAURENCE W	BENNETT AMANDA L	PO BOX 343	STOW	MA	01775	53411	364
00U-10 000013	36 CRESCENT ST	HATLEVIG TROY P		36 CRESCENT ST	STOW	MA	01775	33733	340
00U-10 000016	54 CRESCENT ST	JONES NANCY E		54 CRESCENT ST	STOW	MA	01775	51779	406
00U-10 000017	58 CRESCENT ST	PIECEWICZ EDMOND J		58 CRESCENT ST	STOW	MA	01775	48472	342
00U-10 000025	53 CRESCENT ST	LEWIS CHARLES E		53 CRESCENT ST	STOW	MA	01775	50915	341
00U-10 000026	323 GREAT RD	TOWN OF STOW		380 GREAT RD	STOW	MA	01775	63833	279
00U-10 000028	51 CRESCENT ST	BOLINSKY JANE M TR	BOKIDS REALTY TRUST OF 2002'S TRS	79 ROBERT RD	STOW	MA	01775	37041	548
00U-10 000030	31 CRESCENT ST	FOLEY MARGARET J		31 CRESCENT ST	STOW	MA	01775	15684	242
00U-10 000032	23 27 CRESCENT ST	MORETTI MICHAEL W.		25 CRESCENT ST	STOW	MA	01775	21502	122
00U-10 00025B	63 CRESCENT ST	LEWIS WILLIAM M	LEWIS LAURIE A	63 CRESCENT ST	STOW	MA	01775	35983	231
00U-10 034-2A	339 GREAT RD	FIRST PARISH CHURCH UNITARIAN		353 GREAT RD	STOW	MA	01775	10409	535

[Handwritten Signature]