



Consultant:

Revision:

Architect of Record:

Drawn: JS

Checked: AS

Scale: 1/2" = 1'-0"

Key Plan:

Project Name:  
**PLANTATION APARTMENTS I & II**

Plantation II

Johnston Way  
 Stow, MA 01775

Sheet Name:

**TYPICAL WALL SECTIONS**

Project Number:

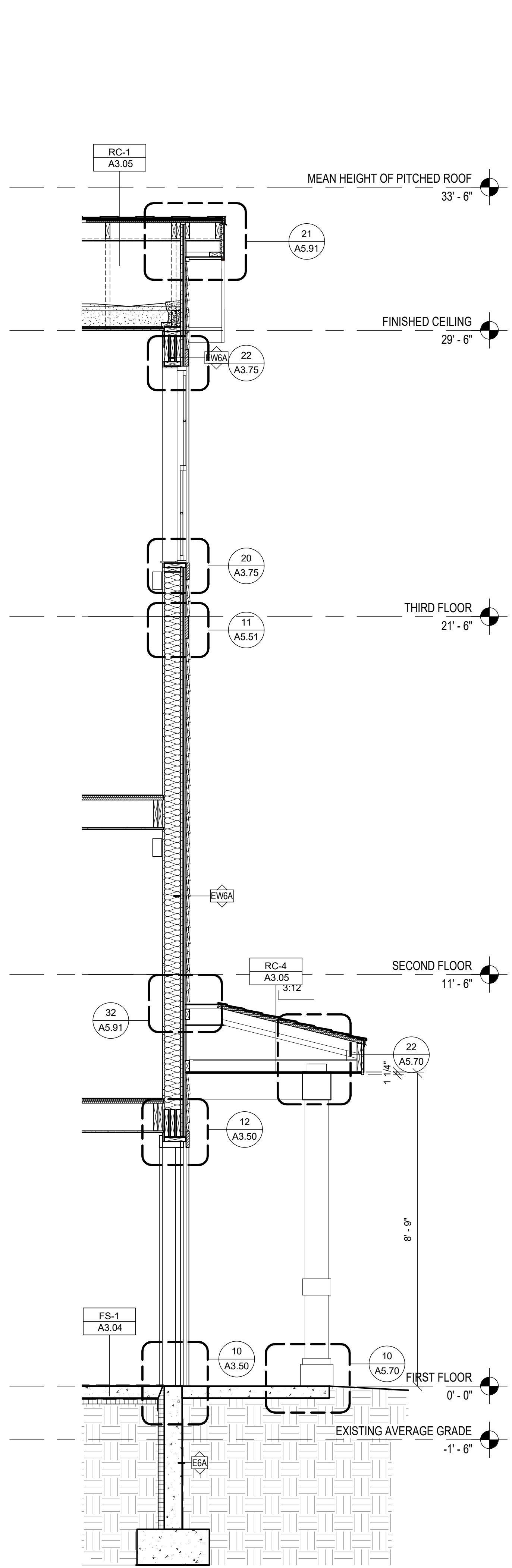
09152

Issue Date:

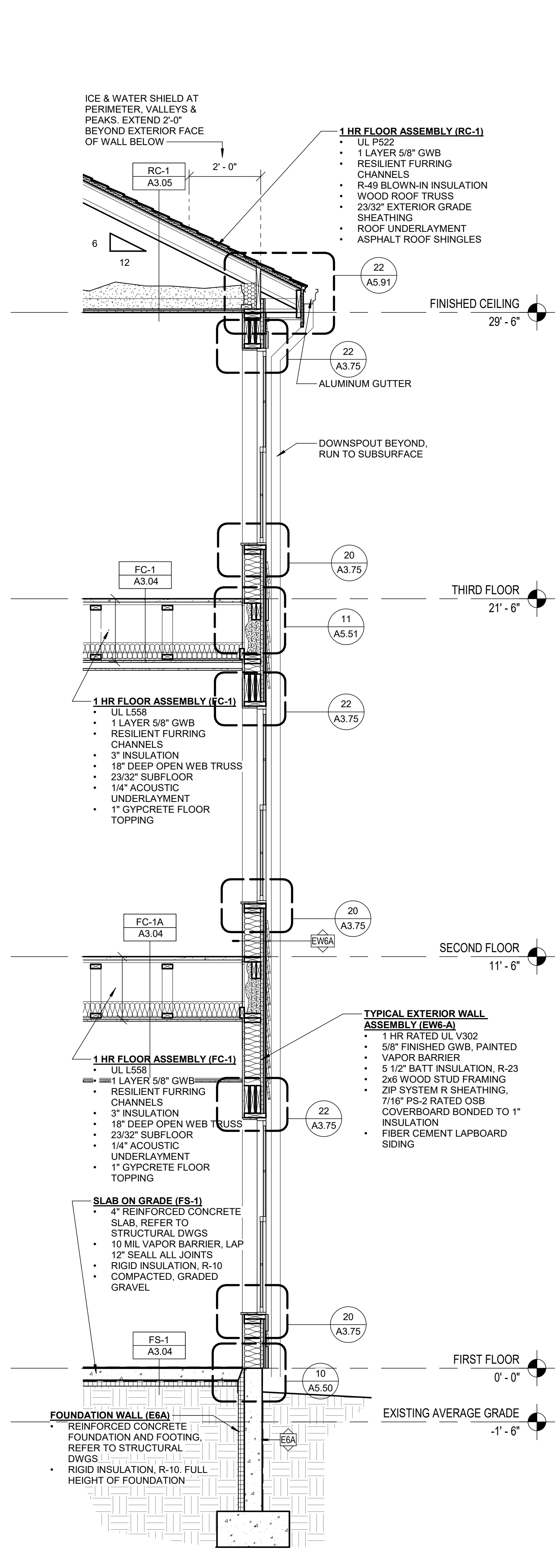
AUGUST 29, 2022

Sheet Number:

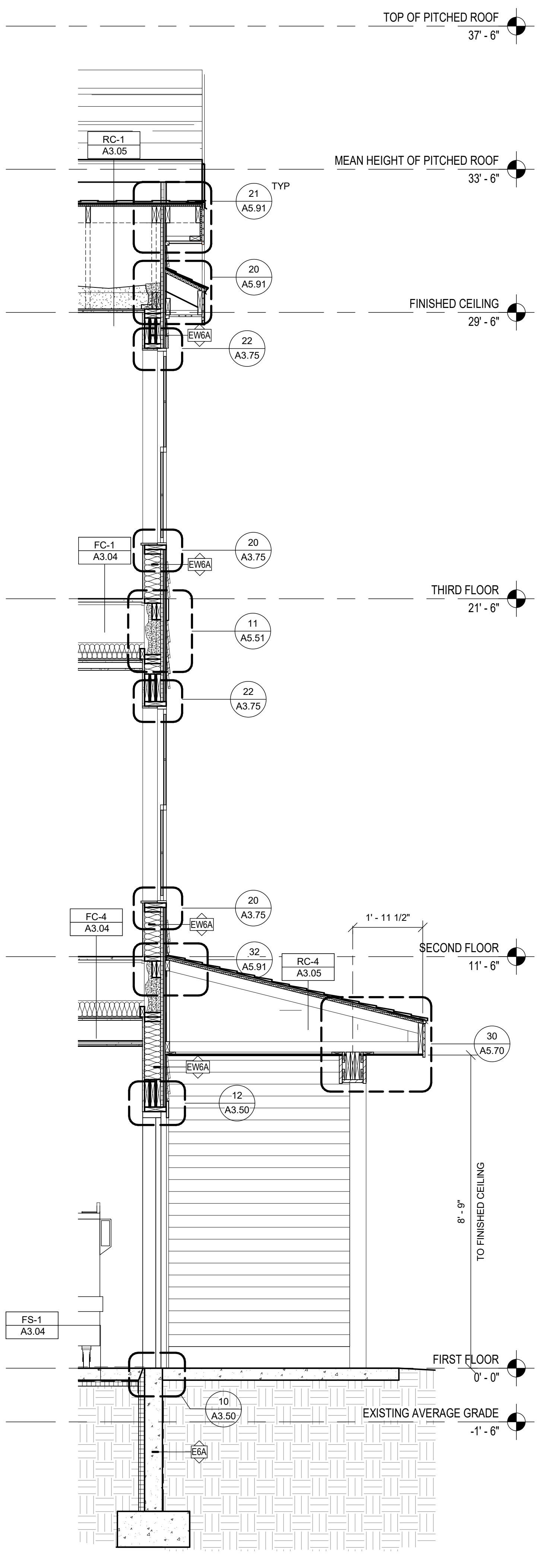
**A5.20**



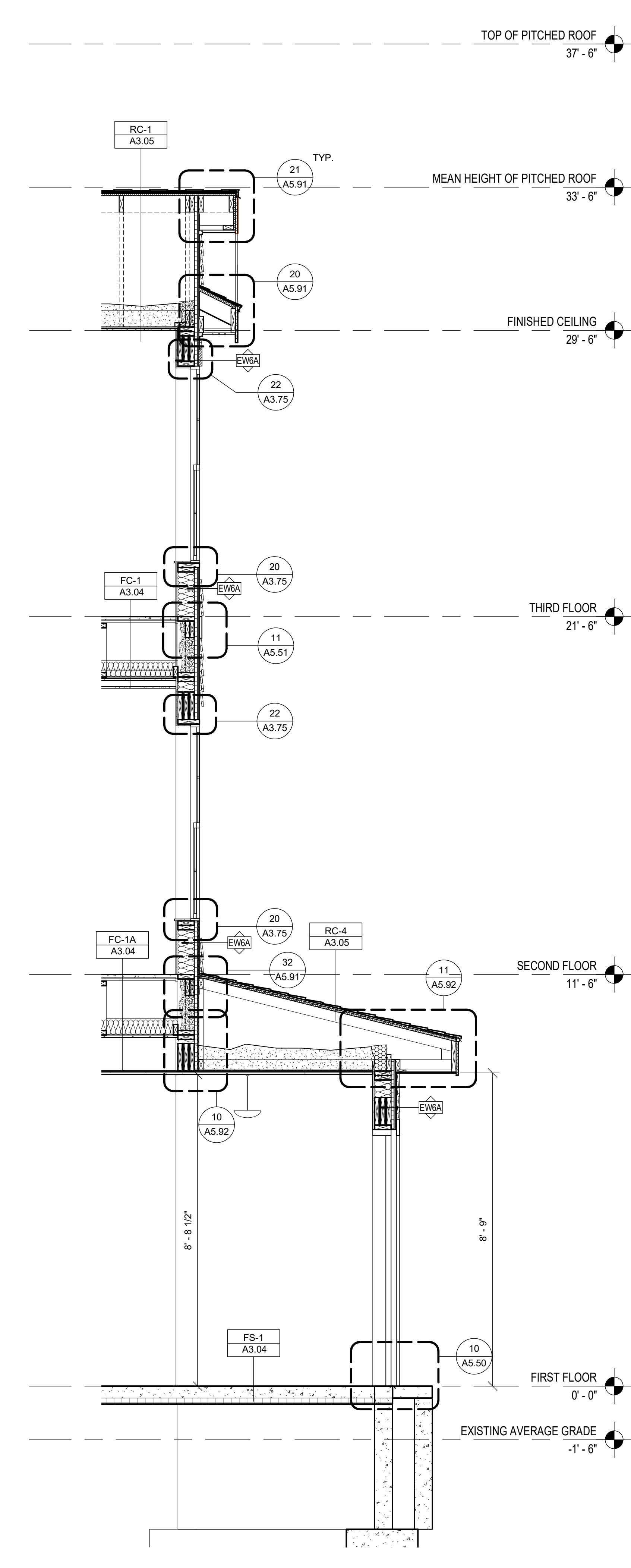
40 WALL SECTION - D  
 Scale: 1/2" = 1'-0"



30 WALL SECTION - C  
 Scale: 1/2" = 1'-0"



20 WALL SECTION - B  
 Scale: 1/2" = 1'-0"



10 WALL SECTION - A  
 Scale: 1/2" = 1'-0"



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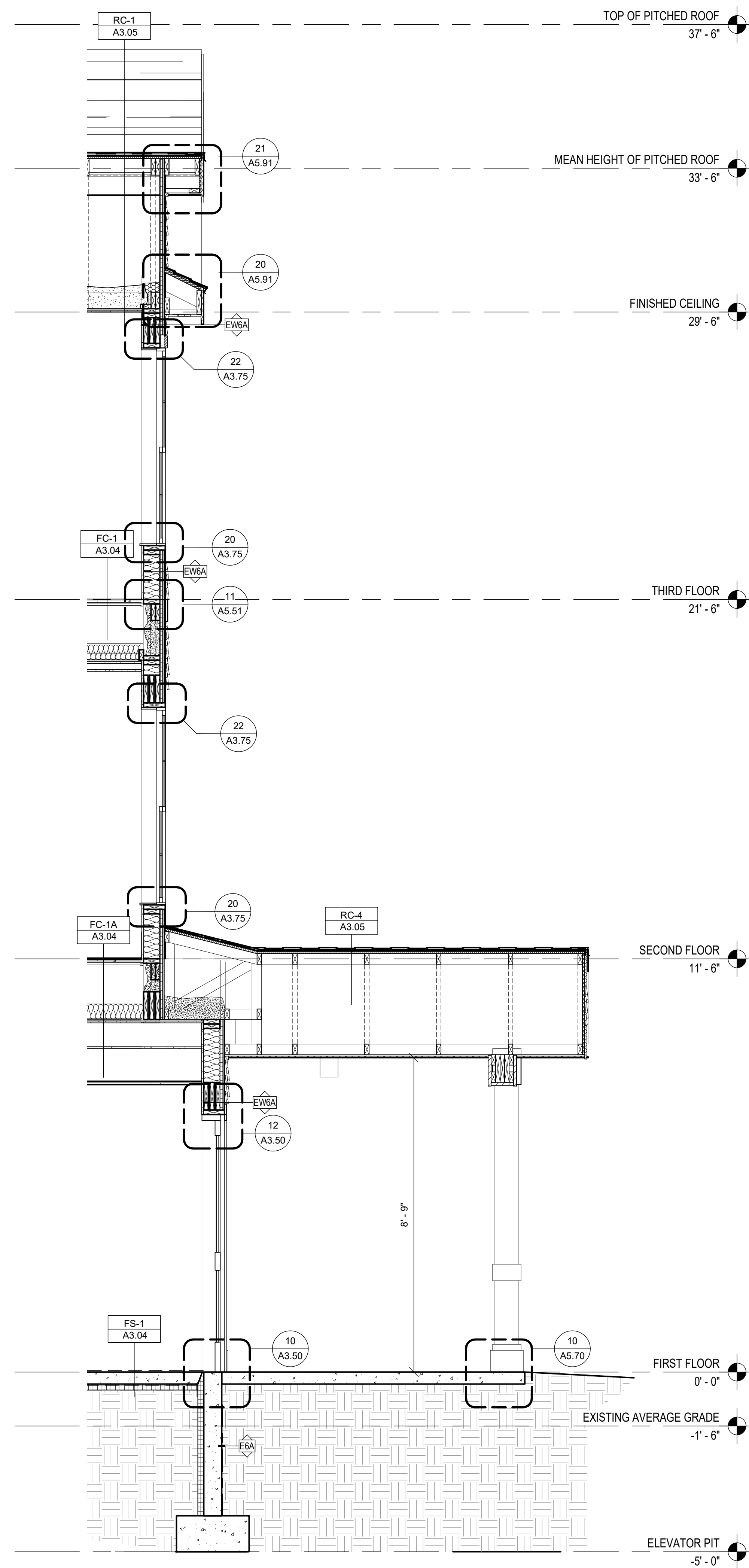
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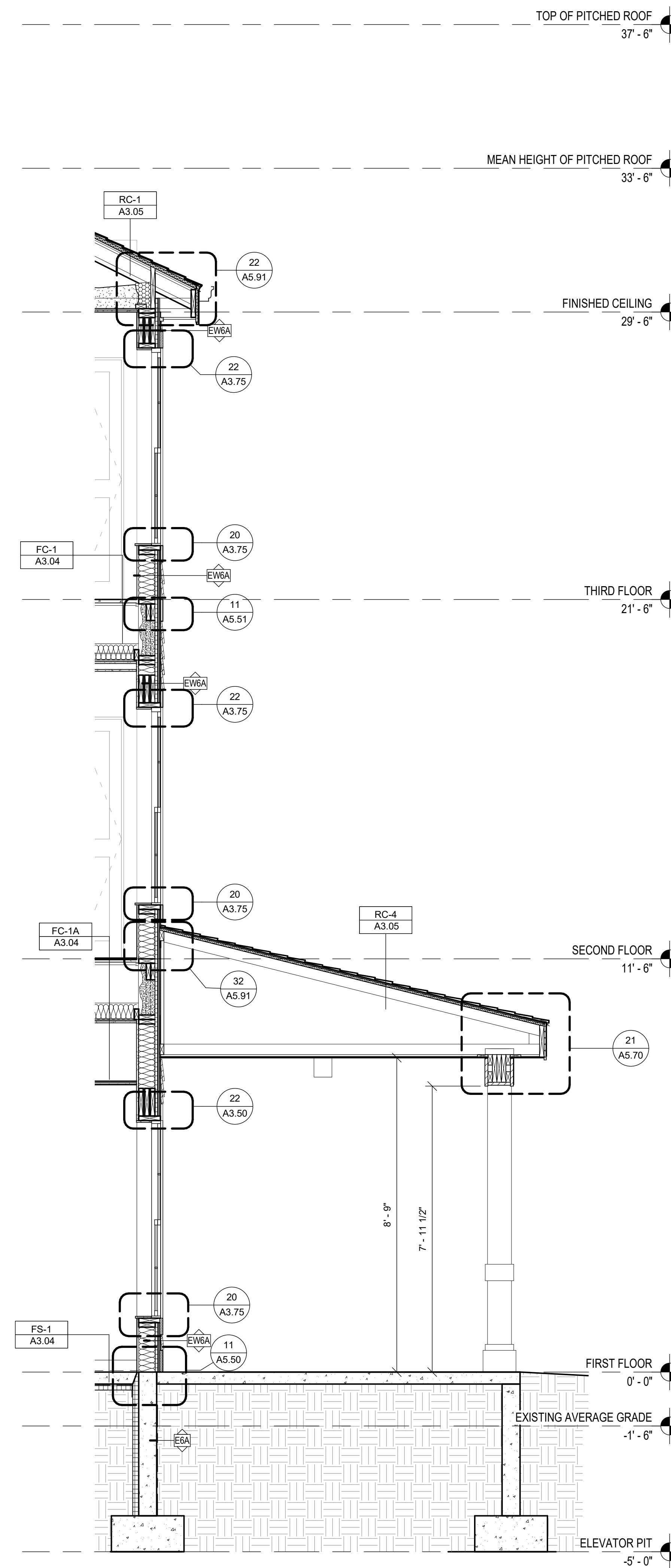
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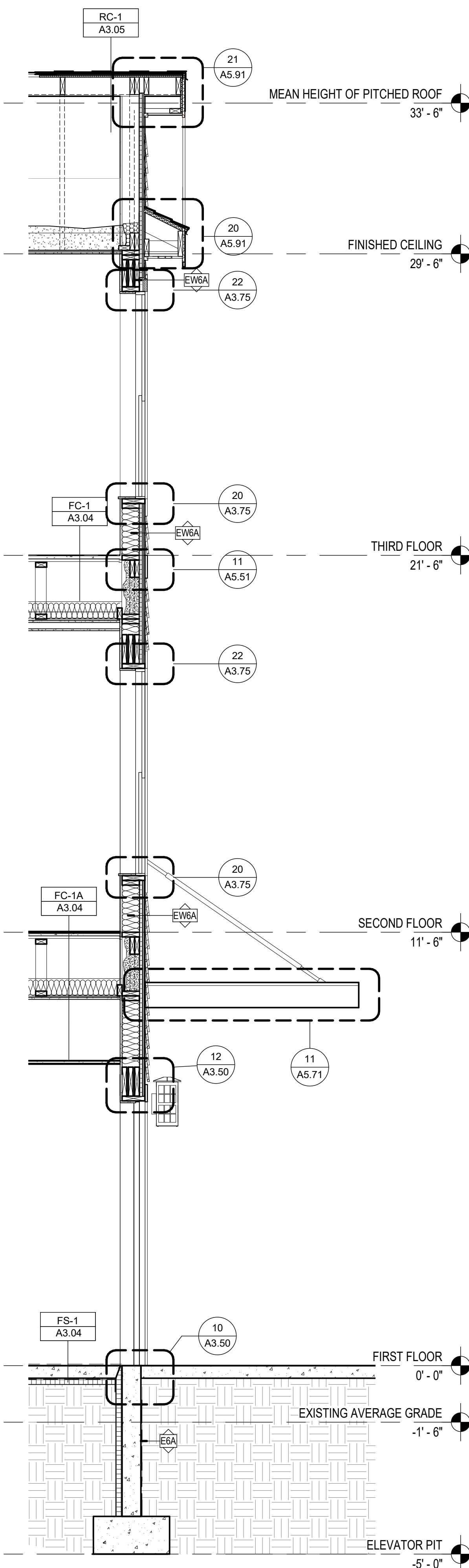
**A5.21**



30 WALL SECTION - G  
 Scale: 1/2" = 1'-0"



20 WALL SECTION - F  
 Scale: 1/2" = 1'-0"



10 WALL SECTION - E  
 Scale: 1/2" = 1'-0"



# PLANTATION APARTMENTS I & II

Johnston Way  
Stow, MA 01775



**SUBMISSIONS :**

JANUARY 13, 2022	DHCD SUBMISSION
AUGUST 29, 2022	BID SET



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**PROJECT CONTACT INFORMATION :**

OWNER	STOW ELDERLY HOUSING CORPORATION 22 JOHNSTON WAY STOW, MA 01775 PHONE #: FAX #:
GENERAL CONTRACTOR	NEI GENERAL CONTRACTING 27 PACELLA PARK DRIVE, RANDOLPH RANDOLPH, MA 02368 PHONE # : 781.356.7666 FAX # : 781.356.2221
ARCHITECT	THE ARCHITECTURAL TEAM 50 COMMANDANTS WAY AT ADMIRALS HILL CHELSEA, MA 02150 PHONE # : 617.889.4402 FAX # : 617.884.4329
GEOTECHNICAL CONSULTANT	YANKEE ENGINEERING & TESTING, INC 10 MASON STREET WORCESTER, MA 01609 PHONE # : 508.831.7404 FAX # : 508.831.7388
CIVIL ENGINEER	DILLIS & ROY CIVIL DESIGN GROUP 1 MAIN STREET, SUITE 1 LUNENBURG, MA 01462 PHONE # : 978.779.6091 FAX # : 978.779.0290
LANDSCAPE ARCHITECT	RYAN ASSOCIATES 144 MOODY STREET, BUILDING 4 WALTHAM, MA 02453 PHONE # : 781.314.0401 FAX #:
STRUCTURAL ENGINEER	CATES ENGINEERING, LTD. 13575 HEATHCOTE BLVD, SUITE 170 GAINESVILLE, VA 20155 PHONE # : 571.261.9280 FAX #:
FIRE PROTECTION, PLUMBING, MECHANICAL, ELECTRICAL ENGINEER	WOZNY BARBER & ASSOCIATES 1078 WASHINGTON STREET HANOVER, MA 02339 PHONE # : 781.826.4144 FAX # : 781.924.5792
INTERIOR DESIGNER	THE ARCHITECTURAL TEAM 50 COMMANDANTS WAY AT ADMIRALS HILL CHELSEA, MA 02150 PHONE # : 617.889. FAX #:

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Project Name:  
**PLANTATION APARTMENTS I & II**

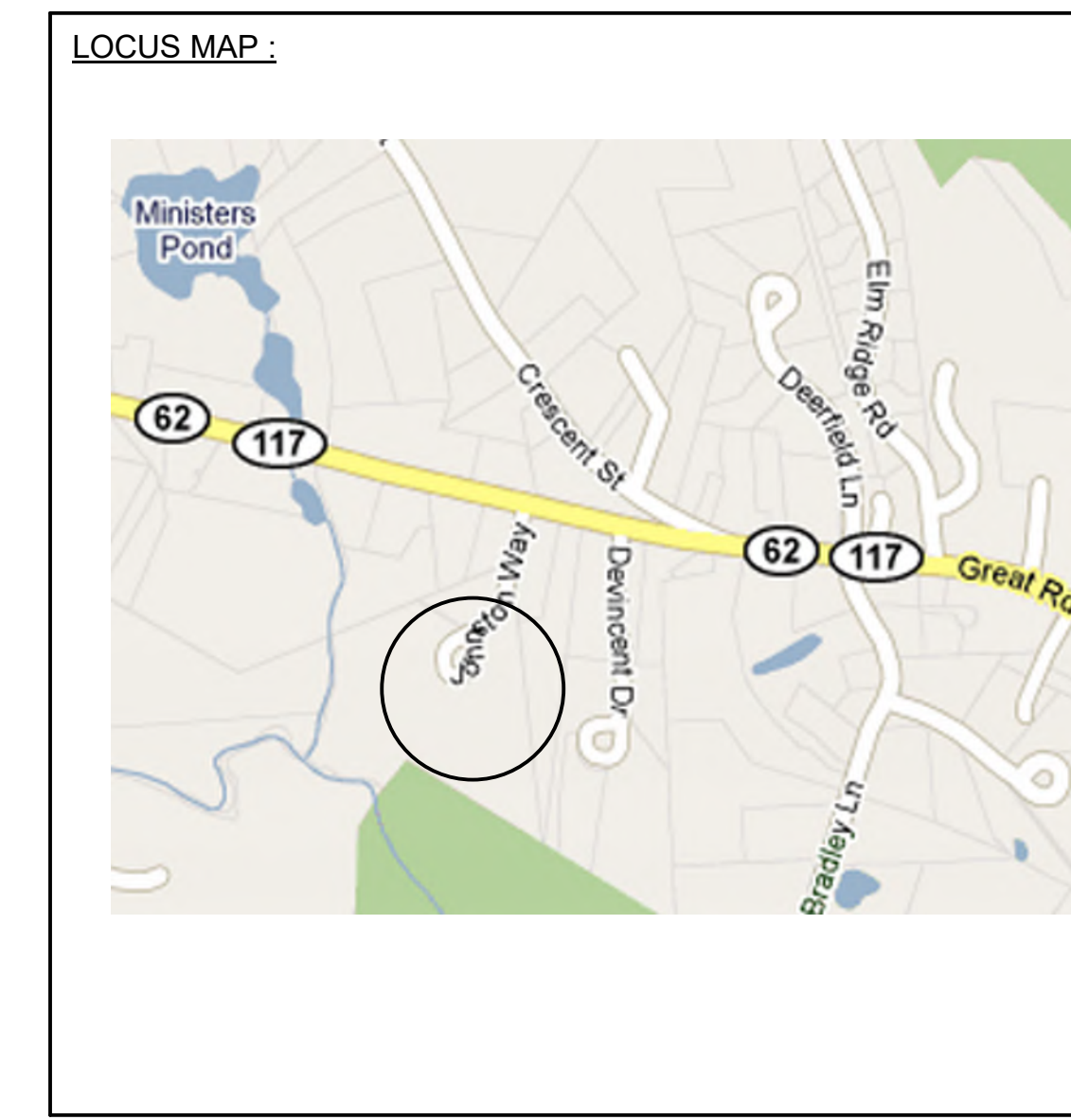
Johnston Way  
Stow, MA 01775

Sheet Name:  
**PROJECT COVER**

Project Number:  
**09152**

Issue Date:  
**AUGUST 29, 2022**

Sheet Number:  
**T0.01**



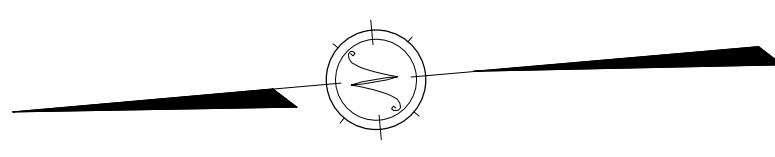












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Revision:

5/22/17	EDITS PER COMMENTS
8/8/17	FIRE CISTERN AND PATH WIDTH EDITS
4/27/18	UPDATED SITE LAYOUT
9/26/18	UPDATED SITE LAYOUT
10/26/18	REV. PER TOWN COMMENTS
11/14/18	REV. PER FIRE DEPT.
8/10/21	REV. PER NEW WELL LAYOUT
1/13/22	DESIGN DEVELOPMENT
8/29/22	ISSUED FOR CONSTRUCTION

Architect of Record: The Architectural Team

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Plantation II

Johnston Way  
Stow, Ma 01775

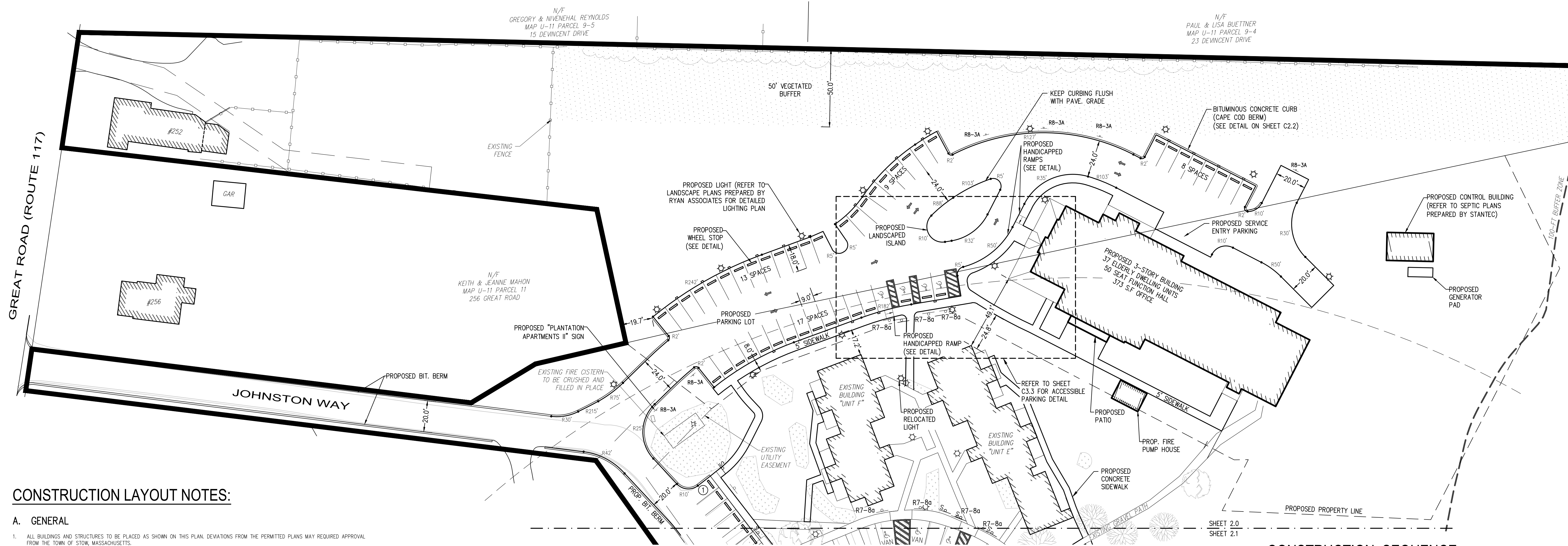
Sheet Name:  
**LAYOUT PLAN**

Project Number:  
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Issue Date:  
**August 29, 2022**

Sheet Number:

**C2.0**



**CONSTRUCTION LAYOUT NOTES:**

**A. GENERAL**

- ALL BUILDINGS AND STRUCTURES TO BE PLACED AS SHOWN ON THIS PLAN. DEVIATIONS FROM THE PERMITTED PLANS MAY REQUIRE APPROVAL FROM THE TOWN OF STOW, MASSACHUSETTS.
- CONTRACTOR TO NOTIFY ENGINEER FOR ALL CONSTRUCTION STAKING REQUESTS A MINIMUM OF 72 HOURS AHEAD OF SCHEDULE.
- SEE SHEET C3.3 FOR GRADING & DRAINAGE AND SHEET C4.0 FOR PROPOSED UTILITY PLACEMENT.
- CONTRACTOR SHALL CALL 1-888-DIG-SAFE IN ACCORDANCE WITH STATE LAWS PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL REFER TO THE ORDER OF CONDITIONS ISSUED BY THE STOW CONSERVATION COMMISSION (RECORDED IN BOOK 78062, PAGE 117 IN THE SOUTH MIDDLESEX REGISTRY OF DEEDS).
- THIS PROJECT AS PROPOSED WILL ALTER MORE THAN 1 ACRE OF AREA. AS SUCH A NOTICE OF INTENT WILL NEED TO BE PREPARED AND FILED WITH THE ENVIRONMENTAL PROTECTION AGENCY PRIOR TO BEGINNING CONSTRUCTION (BY CONTRACTOR).
- THE SITE IS NOT WITHIN AN ESTIMATED HAZARD OF RARE OR ENDANGERED SPECIES AS DEFINED BY THE NATIONAL HERITAGE AND ENDANGERED SPECIES PROGRAM 2008 MAP.
- CONTRACTOR SHALL PLACE ALL EROSION CONTROL BARRIERS PRIOR TO CONSTRUCTION AS SHOWN ON SHEET C5.0.
- CONTRACTOR SHALL NOTIFY THE TOWN OF STOW IN WRITING OF INTENT TO BEGIN CONSTRUCTION ACTIVITIES AT LEAST 5 BUSINESS DAYS BEFORE COMMENCING CONSTRUCTION ACTIVITY ON SITE AND RETAIN PROOF OF RECEIPT OF SUCH NOTICE FROM THE TOWN CLERK.

**B. MATERIALS**

- ASPHALT
  - ASPHALT TO CONFORM TO MASSDOT SECTION M311.03
  - PAVEMENT TO BE 1" 2" WEARING COURSE (TABLE B) OVER 2" BINDER COURSE (TABLE A).
  - REFER TO TYPICAL PAVEMENT CROSS SECTION DETAIL ON SHEET C3.2.
- SIDEWALK
  - SIDEWALKS SHALL BE CONSTRUCTED OF ASPHALT CONFORMING TO MASSDOT SECTION M311.03
  - PAVEMENT SHALL BE 4" IN DEPTH.
  - REFER TO DETAIL ON SHEET C2.2 FOR SIDEWALK DETAIL.
- BITUMINOUS BERM
  - BITUMINOUS BERM SHALL BE CAPE COD BERM. REFER TO DETAIL ON SHEET C2.2 FOR ADDITIONAL INFORMATION.
- PRECAST CONC. BERM
  - CONC. BERM ADJACENT TO SIDEWALK AREAS SHALL BE VERTICAL TYPE. REFER TO DETAIL ON SHEET C2.2 FOR ADDITIONAL INFORMATION.
- STRIPING
  - PARKING STRIPES SHALL BE 4-INCHES IN WIDTH.
  - PARKING SPACES SHALL BE 9" WIDE X 18" DEEP AND SHALL BE MEASURED FROM CENTER OF STRIP TO CENTER OF STRIPE.
- ACCESSIBLE RAMPS
  - ACCESSIBLE RAMPS SHALL BE INSTALLED IN ACCORDANCE WITH MASSACHUSETTS ARCHITECTURAL ACCESS BOARD AND AMERICAN DISABILITIES ACT LAWS AND REGULATIONS
  - REFER TO THE ACCESSIBLE RAMP DETAIL ON SHEET C2.2.
- SIGN POSTS & SIGNS
  - REFER TO THE SIGN SCHEDULE ON THIS SHEET AND THE DETAILS ON SHEET C2.2 FOR ADDITIONAL INFORMATION.
- ELECTRIC CAR CHARGER PADS
  - ELECTRIC CAR CHARGING STATIONS SHALL CONSIST OF A 1' X 2' CONCRETE PAD BEHIND THE CURB.
  - REFER TO SHEET C4.3 FOR DETAILS AND SPECIFICATIONS.
- BOLLARDS
  - BOLLARDS SHALL BE 4- FEET HIGH AND CONSTRUCTED OF STEEL
  - BOLLARDS SHALL BE INSTALLED WITH A PLASTIC SLEEVE (COLOR TO BE DETERMINED BY PROPERTY OWNER)
  - REFER TO DETAIL ON SHEET C2.2
- WHEEL STOPS
  - WHEEL STOPS SHALL BE INSTALLED IN ALL PROPOSED AND EXISTING PARKING SPACES
  - REFER TO THE WHEEL STOP DETAIL ON SHEET C2.2.

**PROPOSED SIGN SCHEDULE**

ALL PARKING SIGNS SHALL BE INSTALLED IN THE LOCATIONS SHOWN ON THE SITE PLANS AND PER THE DETAILS ON SHEET C2.2.

MUTCD SIGN CODE	SIGN TYPE
R8-3A	"NO PARKING ANY TIME"
R7-8A	"RESERVED PARKING"

**PLANTATION II PARKING TABLE**

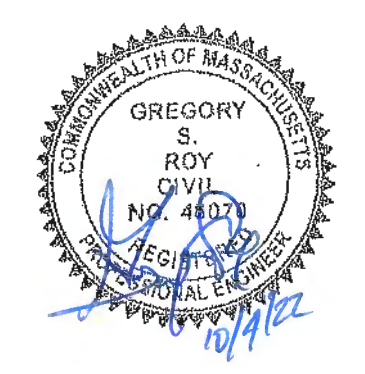
ALL PARKING SPACES ARE REQUIRED BE AT LEAST 9' WIDE x 18' DEEP PER THE STOW STANDARD PARKING DIMENSIONAL REGULATIONS.

USE CATEGORY	PROPOSED SPACES
HANDICAPPED	4 SPACES (2 VAN)
PLANTATION II TOTAL	47 SPACES

**CONSTRUCTION SEQUENCE:**

CONTRACTOR TO ADJUST CONSTRUCTION SEQUENCE, AS APPROVED BY OWNER, AS REQUIRED FOR CONSTRUCTION.

- INSTALL EROSION CONTROL BARRIERS AS SHOWN ON SHEET C5.0 AND PER THE ORDER OF CONDITIONS ISSUED BY THE STOW CONSERVATION COMMISSION (RECORDED IN BOOK 78062, PAGE 117 AT THE SOUTH MIDDLESEX REGISTRY OF DEEDS).
- SCHEDULE AND CONDUCT PRE-CONSTRUCTION MEETING WITH SITE ENGINEER, ARCHITECT, GENERAL CONTRACTOR, SITE CONTRACTOR AND STOW CONSERVATION COMMISSION.
- CLEAR AND GRUB PROPOSED LIMITS OF CLEARING, REMOVE STUMPS AND VEGETATION FROM SITE.
- CONSTRUCT CRUSHED STONE CONSTRUCTION ZONE ENTRANCE (SEE SHEET C5.0 FOR LOCATION).
- STRIP AND STOCKPILE LOAM, COVER WITH SUITABLE TARP.
- ROUGH GRADE ACCESS DRIVEWAY AND PARKING AREAS.
- EXCAVATE, CONSTRUCT AND BACKFILL BUILDING FOUNDATION.
- INSTALL WATER, GAS, ELECTRIC, TELEPHONE AND CABLE UTILITIES TO BUILDING.
- COMMENCE BUILDING CONSTRUCTION.
- INSTALL STORM DRAINAGE STARTING AT INFILTRATION BASIN AND WORKING UPGRADIENT TO CATCH BASIN. INSTALL TEMPORARY CONSTRUCTION FENCE AROUND INFILTRATION BASIN TO KEEP HEAVY TRUCKS AND EQUIPMENT OFF DURING CONSTRUCTION.
- RAISE CATCH BASIN GRATE TO BINDER GRADE AND INSTALL SILT SACKS IN BASIN AND SURROUND CATCH BASIN WITH HAYBALES.
- INSTALL WASTEWATER SYSTEM LEACHING BED, LATERALS AND MANFOLDS.
- BACKFILL AND COMPACT WASTEWATER SYSTEM LEACHING AREA IN ACCORDANCE WITH THE COMPACTION REQUIREMENTS OF THE SYSTEM DESIGN.
- INSTALL SEPTIC TANK, DOSING CHAMBER, PUMPS, ETC. CONTACT DESIGN ENGINEER TO CONDUCT REQUIRED TESTS ON THE SYSTEM.
- COMPLETE GRADING AND COMPACTION OF AREAS TO BE PAVED.
- INSTALL BINDER COURSE OF PAVEMENT AND INSTALL CAPE COD BERMS.
- COMPLETE BUILDING CONSTRUCTION.
- INSTALL CONCRETE CURBING AND SIDEWALKS.
- LOAM AND SEED ALL DISTURBED AREAS. COMPLETE SITE LANDSCAPING.
- CLEAN CATCH BASIN SUMP OF SEDIMENT AND DEBRIS AND THOROUGHLY SWEEP BINDER COURSE OF PAVEMENT.
- FOLLOWING COMPLETION OF ALL CONSTRUCTION ACTIVITIES, INSTALL FINISH COURSE OF PAVEMENT.
- INSTALL WHEEL STOPS.
- PLACE THERMOPLASTIC PAVEMENT MARKINGS FOR PARKING SPACES AND HANDICAP ACCESSIBLE PARKING SPACES.
- UPON COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ADEQUATE STABILIZATION OF DISTURBED AREAS OF THE SITE WITH VEGETATION OR OTHER SUITABLE GROUND COVER, REMOVE AND DISPOSE OF OFF SITE ALL EROSION CONTROL BARRIER MATERIALS.



ISSUED FOR CONSTRUCTION



**PLANTATION I MATERIAL NOTES**

1. DUMPSTER PAD
  - 1.1. DUMPSTER PAD SHALL BE CONSTRUCTED WITH 6" CONCRETE REINFORCED WITH #4 REBAR @ 12" ON CENTER IN BOTH DIRECTIONS
2. VINYL FENCE
  - 2.1. VINYL FENCE SHALL BE 6- FEET IN HEIGHT
  - 2.2. POSTS SHALL BE 4" SQUARE
  - 2.3. REFER TO DETAIL ON SHEET C2.2
3. STRIPING
  - 3.1. PARKING STRIPS SHALL BE 4-INCHES IN WIDTH
  - 3.2. PARKING SPACES SHALL BE 9' WIDE X 18' DEEP AND SHALL BE MEASURED FROM CENTER OF STRIP TO CENTER OF STRIP
4. WALKWAYS
  - 4.1. PROPOSED 4'-WIDE CONCRETE WALKWAYS SHALL BE INSTALLED AS SHOWN ON THE SITE PLAN
  - 4.2. REFER TO SIDEWALK DETAIL ON SHEET C2.2
5. COMMUNITY GARDEN BEDS
  - 5.1. THE COMMUNITY GARDEN BEDS SHALL BE CONSTRUCTED WITH PRESSURE TREATED TIMBERS
  - 5.2. REFER TO COMMUNITY GARDEN DETAIL ON SHEET C2.2.
6. SHED
  - 6.1. PROPOSED CONCRETE WALKWAYS SHALL BE INSTALLED AS SHOWN ON THE SITE PLAN
  - 6.2. REFER TO SIDEWALK DETAIL ON SHEET C2.2

**PLANTATION I PARKING TABLE**

ALL PARKING SPACES ARE REQUIRED BE AT LEAST 9' WIDE x 18' DEEP PER THE STOW STANDARD PARKING DIMENSIONAL REGULATIONS.

USE CATEGORY	EXISTING SPACES	PROPOSED SPACES
ACCESSIBLE:	10 SPACES	10 SPACES (6 VAN)
TRADITIONAL:	35 SPACES	42 SPACES
PLANTATION I TOTAL:	45 SPACES	52 SPACES

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8/29/22	ISSUED FOR CONSTRUCTION

Architect of Record: The Architectural Team

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**PLANTATION APARTMENTS I & II**  
Plantation I

Johnston Way  
Stow, Ma 01775

Sheet Name:

**LAYOUT DETAILS**

Project Number:

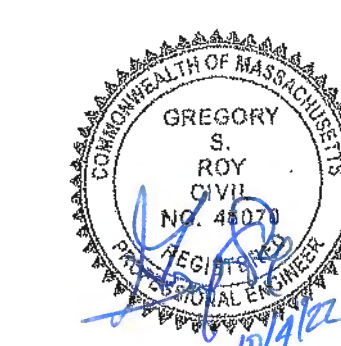
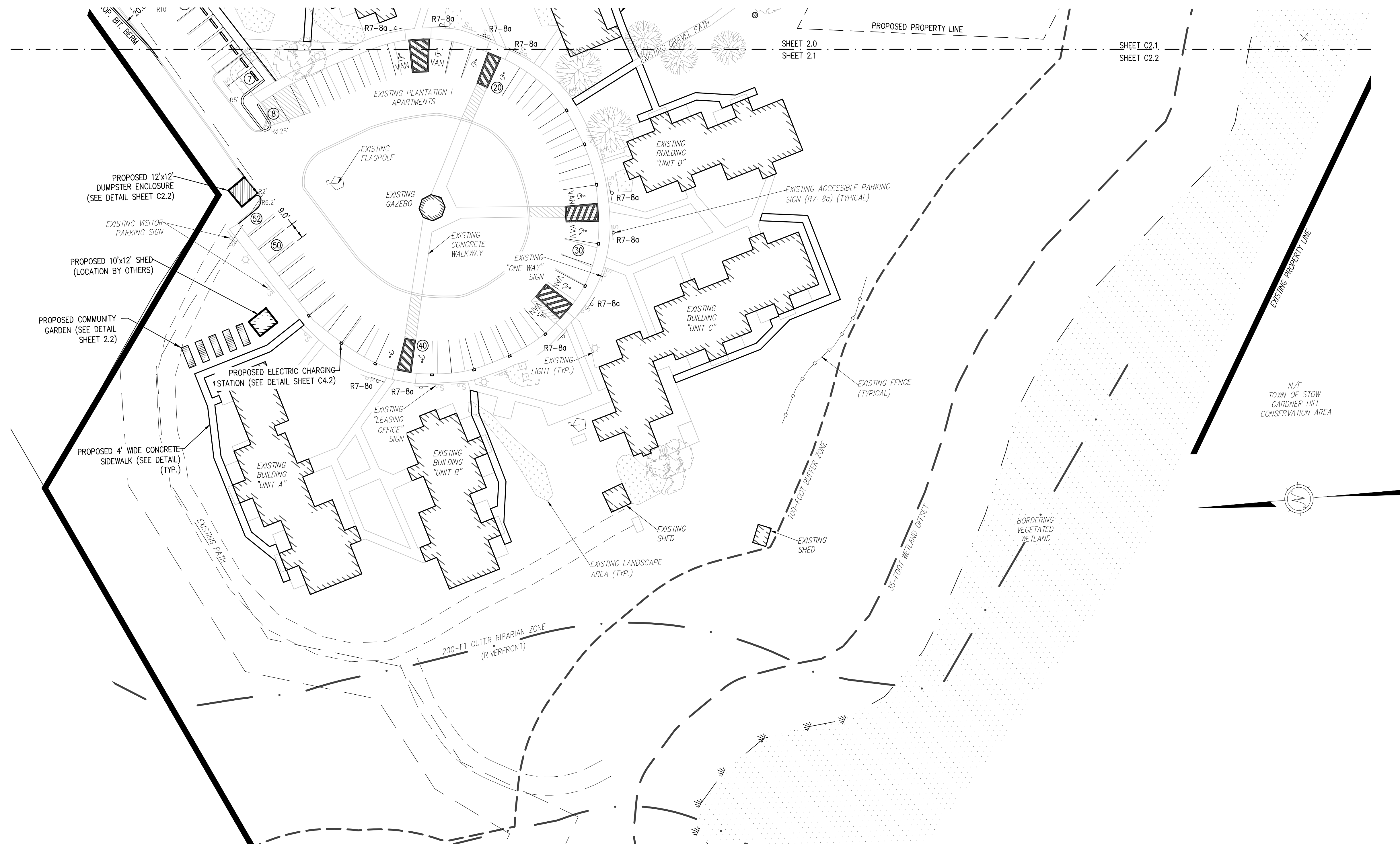
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**C2.1**



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Plantation II

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**GRADING & DRAINAGE PLAN**

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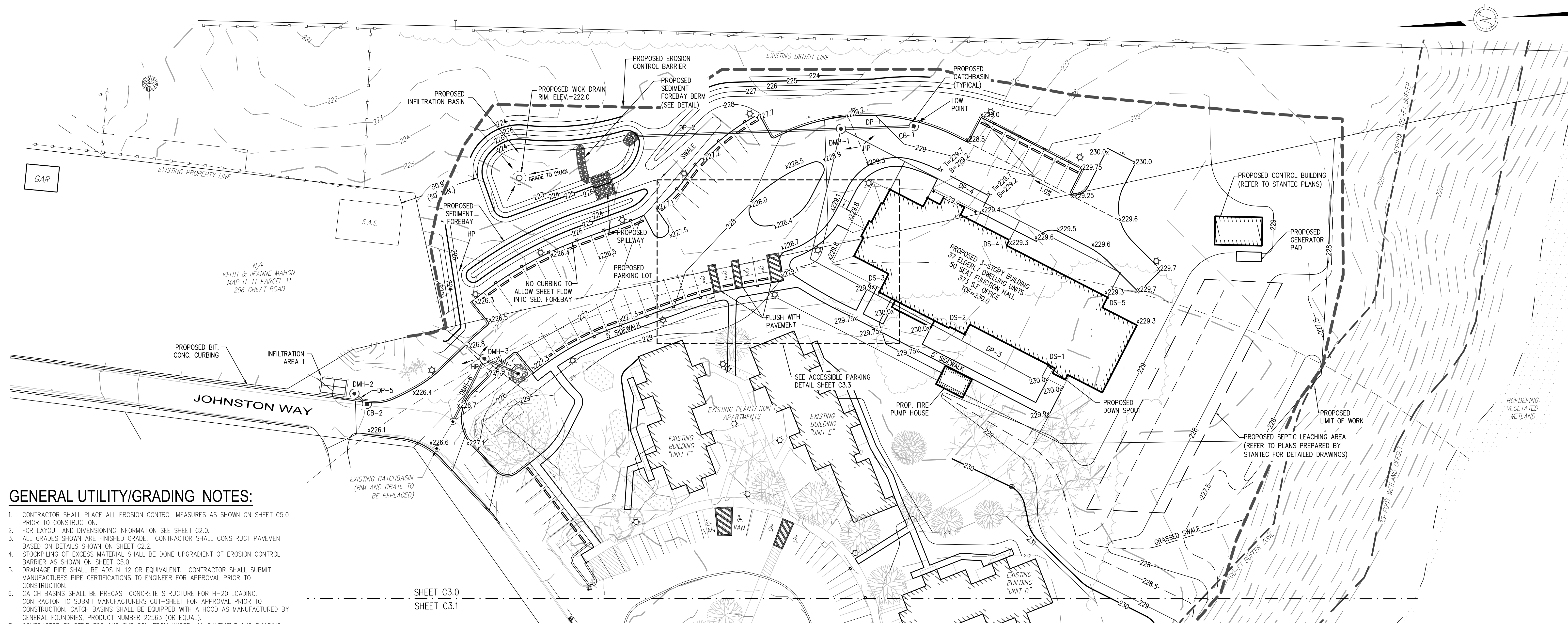
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Sheet Number:

**C3.0**



**GENERAL UTILITY/GRADING NOTES:**

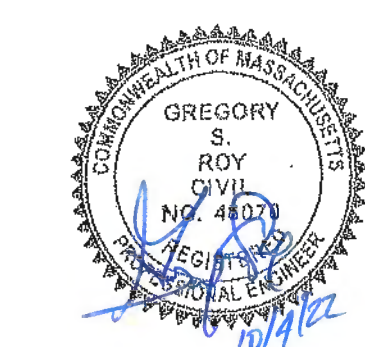
- CONTRACTOR SHALL PLACE ALL EROSION CONTROL MEASURES AS SHOWN ON SHEET C5.0 PRIOR TO CONSTRUCTION.
- FOR LAYOUT AND DIMENSIONING INFORMATION SEE SHEET C2.0.
- ALL GRADES SHOWN ARE FINISHED GRADE. CONTRACTOR SHALL CONSTRUCT PAVEMENT BASED ON DETAILS SHOWN ON SHEET C2.2.
- STOCKPILING OF EXCESS MATERIAL SHALL BE DONE UPGRADIENT OF EROSION CONTROL BARRIERS AS SHOWN ON SHEET C5.0.
- DRAINAGE PIPE SHALL BE ADS N-12 OR EQUIVALENT. CONTRACTOR SHALL SUBMIT MANUFACTURERS PIPE CERTIFICATIONS TO ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.
- CATCH BASINS SHALL BE PRECAST CONCRETE STRUCTURE FOR H=20 LOADING. CONTRACTOR TO SUBMIT MANUFACTURERS CUT-SHEET FOR APPROVAL PRIOR TO CONSTRUCTION. CATCH BASINS SHALL BE EQUIPPED WITH A HOOD AS MANUFACTURED BY GENERAL FOUNDRIES, PRODUCT NUMBER 22563 (OR EQUAL).
- CONTRACTOR TO STRIP TOP AND SUB SOIL FROM UNDER ALL PAVEMENT AND BUILDING AREAS (SEE STRUCTURAL PLANS & SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS).
- CATCH BASIN SHALL BE ADJUSTED TO FINAL GRADE PRIOR TO PLACING THE WEARING COURSE.
- THE PROPOSED WICK DRAIN SHALL BE INSTALLED USING A 30" DIA. ADS PERFORATED PIPE WITH A 30" NYLOPLAST MODEL 3099CGS DROP-IN GRATE. THE DRAIN SHALL BE SURROUNDED BY THREE FEET OF 1/2" CRUSHED STONE AS DETAILED ON SHEET C3.2. STONE RIPRAP TO BE 4"-6" ANGULAR STONE OVER FILTER FABRIC (MIRAFI 140N, OR EQUAL).
- FOREBAY STONE TO BE 2"-4" ANGULAR STONE (SEE DETAIL ON SHEET C3.2).

**ROOF HEADER SCHEDULE**

DS-1 ADS N-12 8" HDPE INV. IN=227.0 (DP-3)	8"	DS-4 ADS N-12 8" HDPE INV. OUT=227.0 (DP-4)	8"
DS-2 ADS N-12 8" HDPE INV. OUT=226.59 (DP-3)	8"	DS-5 ADS N-12 8" HDPE INV. OUT=226.29 (DP-5)	8"
DS-3 ADS N-12 8" HDPE INV. OUT=226.22 (DP-3)	8"	DS-6 ADS N-12 8" HDPE INV. OUT=225.63 (DP-6)	8"

**DRAINAGE STRUCTURE SCHEDULE:**

CB-1 PRECAST RC RIM =228.7 12" HDPE INV. OUT=225.7 (DP-1)	4"	CB-2 PRECAST RC RIM =226.0 12" HDPE INV. OUT=222.0 (DP-5)	4"
DMH-1 PRECAST RC RIM =229.1 12" HDPE INV. IN=225.5 (DP-1) 8" HDPE INV. IN=225.5 (DP-3) 8" HDPE INV. IN=225.5 (DP-4) 12" HDPE INV. OUT=225.4 (DP-2)	4"	DMH-2 PRECAST RC RIM =226.1 12" HDPE INV. IN=221.84 (DP-5) 12" HDPE INV. OUT=221.74 (INFIL. AREA 1)	4"
DMH-3 PRECAST RC RIM =226.8 12" HDPE INV. IN=222.10 (DP-6) 12" HDPE INV. OUT=222.00 (DP-7)	4"		
DP-1 ADS N-12 SLOPE = 0.5% LENGTH = 44± INLET INV.=225.7 (CB-1) OUTLET INV.=225.5 (DMH-1)	12"	DP-2 ADS N-12 SLOPE = 0.7% LENGTH = 137± INLET INV.=225.4 (DMH-1) OUTLET INV.=224.5 (INFIL. BASIN)	12"
DP-3 ADS N-12 SLOPE = 0.6% LENGTH = 250± INLET INV.=227.0 (DS-1, DS-2, DS-3) OUTLET INV.=225.5 (DMH-1)	8"	DP-4 ADS N-12 SLOPE = 0.8% LENGTH = 200± INLET INV.=227.0 (DS-4, DS-5, DS-6) OUTLET INV.=225.5 (DMH-1)	8"
DP-5 ADS N-12 SLOPE = 2.0% LENGTH = 8± INLET INV.=222.00 (CB-2) OUTLET INV.=221.84 (DMH-2)	12"	DP-6 ADS N-12 SLOPE = 2.0% LENGTH = 42± INLET INV.=222.94 (EXISTING CB) OUTLET INV.=222.10 (DMH-3)	8"
DP-7 ADS N-12 SLOPE = 2.0% LENGTH = 21± INLET INV.=222.00 (DMH-3) OUTLET INV.=221.58 (LEACHING CB)	12"		



ISSUED FOR CONSTRUCTION



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Consultant:

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Revision:

5/22/17	EDITS PER COMMENTS
8/8/17	FIRE CISTERN AND PATH WIDTH EDITS
4/27/18	UPDATED SITE LAYOUT
9/26/18	UPDATED SITE LAYOUT
10/26/18	REV. PER TOWN COMMENTS
11/14/18	REV. PER FIRE DEPT.
8/10/21	REV. PER NEW WELL LAYOUT
1/13/22	DESIGN DEVELOPMENT
8/29/22	ISSUED FOR CONSTRUCTION

Architect of Record: The Architectural Team

Drawn: RWP

Checked: GSR

Scale: 1"=30'

Key Plan:

Project Name:

**PLANTATION APARTMENTS I & II**  
Plantation I

Johnston Way  
Stow, Ma 01775

Sheet Name:

**GRADING & DRAINAGE PLAN 2**

Project Number:

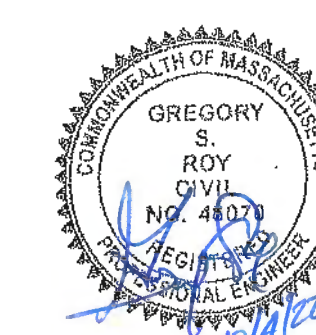
4644-2

Issue Date:

August 29, 2022

Sheet Number:

**C3.1**



ISSUED FOR CONSTRUCTION





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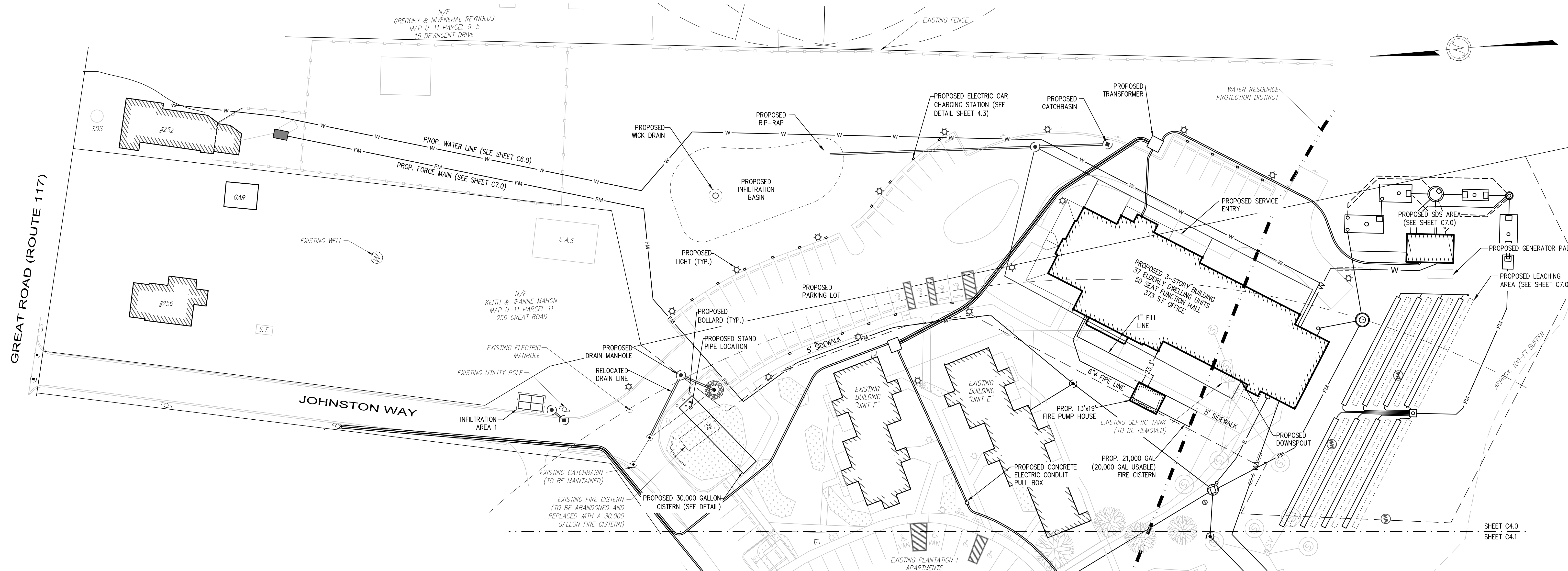
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**GENERAL UTILITY NOTES:**

1. CONTRACTOR SHALL PLACE ALL EROSION CONTROL MEASURES AS SHOWN ON SHEET C5.0 PRIOR TO CONSTRUCTION.
2. FOR LAYOUT AND DIMENSIONING INFORMATION SEE SHEET C2.0.
3. CONTRACTOR TO COORDINATE ALL UTILITY WORK WITH THE APPROPRIATE UTILITY COMPANY PRIOR TO CONSTRUCTION.
4. FINAL LOCATION OF ELECTRICAL SERVICE TO BE DETERMINED BY POWER COMPANY.
5. EXISTING FIRE CISTERN SHALL BE DISCONTINUED, CRUSHED, & FILLED.
6. INSTALL A NEW, 30,000 GALLON FIRE CISTERN (CHASE PRECAST OR EQUAL) FITTED WITH AN ACCESS HATCH, VENT, FILL AND SUCTION PIPE AND FLOAT GAUGE (PER THE STOW FIRE PROTECTION CISTERN REGULATIONS).
7. THE PROPOSED UTILITY AND ACCESS EASEMENTS SHALL REMAIN IN EFFECT FOR THE LIFETIME OF THE PROPOSED PLANTATION II BUILDING.
8. CONTRACTOR TO FURNISH & INSTALL ALL FITTINGS, VALVES, AND APPURTENANCES TO INSTALL THE PROPOSED WATER MAIN AND SEWER FORCE MAIN.



Consultant:

**DILLIS & ROY**  
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Revision:

DATE	EDITS PER COMMENTS
5/22/17	FIRE CISTERN AND PATH WIDTH EDITS
8/8/17	UPDATED SITE LAYOUT
4/27/18	REV. PER TOWN COMMENTS
9/26/18	REV. PER FIRE DEPT.
10/26/18	REV. PER NEW WELL LAYOUT
11/14/18	DESIGN DEVELOPMENT
8/10/21	ISSUED FOR CONSTRUCTION

Architect of Record: The Architectural Team

Drawn: RWP

Checked: GSR

Scale: 1" = 30'

Key Plan:

Project Name:

**PLANTATION APARTMENTS I & II**  
Plantation II

Johnston Way  
Stow, MA 01775

Sheet Name:

UTILITIES PLAN

Project Number:

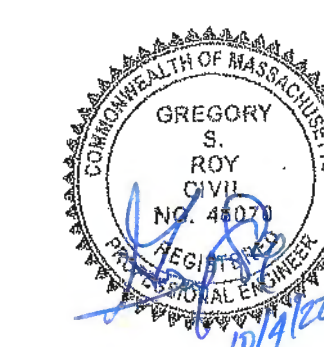
4644-2

Issue Date:

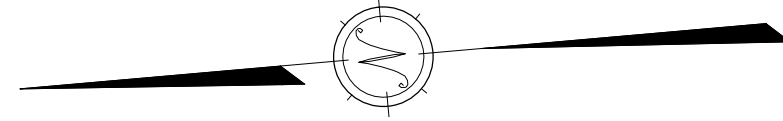
August 29, 2022

Sheet Number:

**C4.0**





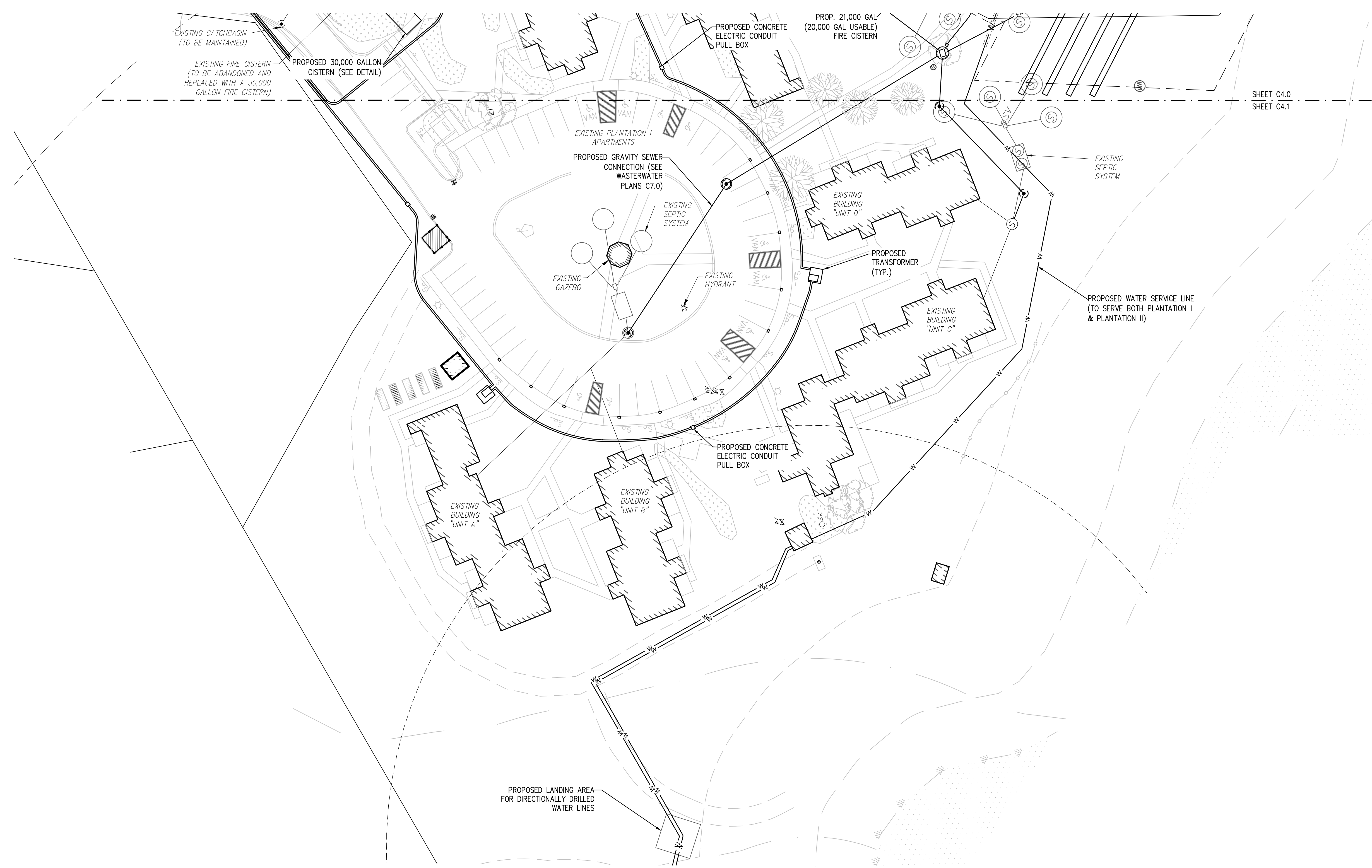


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1/13/22	DESIGN DEVELOPMENT
8/29/22	ISSUED FOR CONSTRUCTION

Architect of Record: The Architectural Team

Drawn: RWP

Checked: GSR

Scale: 1"=30'

Key Plan:

Project Name:

**PLANTATION APARTMENTS I & II PLANTATION I**

Johnston Way  
Stow, MA 01775

Sheet Name:

UTILITIES PLAN 2

Project Number:

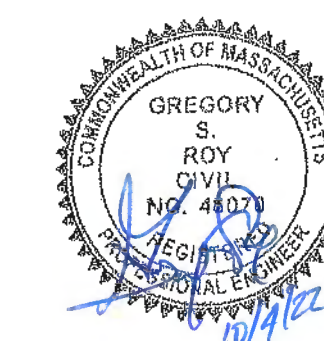
4644-2

Issue Date:

August 29, 2022

Sheet Number:

**C4.1**



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1/13/22	DESIGN DEVELOPMENT
8/29/22	ISSUED FOR CONSTRUCTION

Architect of Record: The Architectural Team

Drawn: RWP

Checked: GSR

Scale: 1" = 30'

Key Plan:

Project Name:

**PLANTATION APARTMENTS I & II**  
Plantation II

Johnston Way  
Stow, Ma 01775

Sheet Name:

**EROSION CONTROL PLAN**

Project Number:

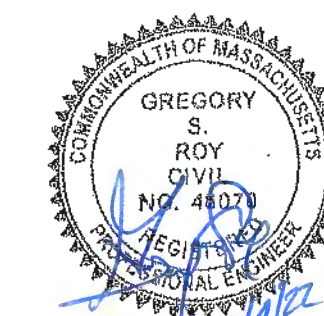
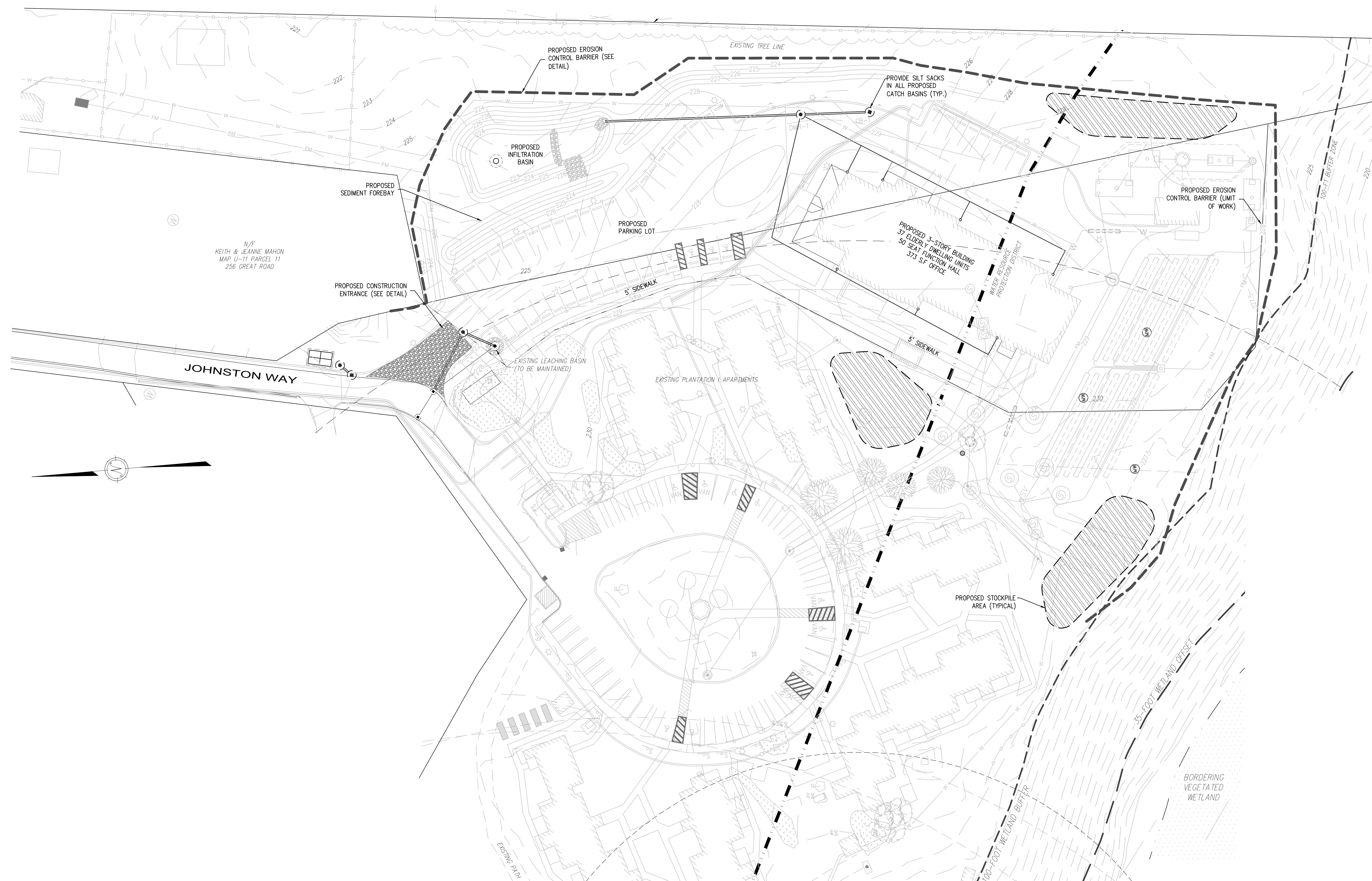
4644-2

Issue Date:

August 29, 2022

Sheet Number:

**C5.0**



ISSUED FOR CONSTRUCTION



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Revision:

DATE	EDITS PER COMMENTS
5/22/17	FIRE CISTERN AND PATH WIDTH EDITS
8/8/17	UPDATED SITE LAYOUT
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9/26/18	REV. PER TOWN COMMENTS
10/26/18	REV. PER FIRE DEPT.
11/14/18	REV. PER NEW WELL LAYOUT
8/10/21	DESIGN DEVELOPMENT
1/13/22	ISSUED FOR CONSTRUCTION
8/29/22	REV. PER DEP COMMENTS
9/22/22	

Architect of Record: The Architectural Team

Drawn: RWP

Checked: GSR

Scale: 1"=60'

Key Plan:

Project Name:

**PLANTATION APARTMENTS I & II**  
Plantation II

Johnston Way  
Stow, Ma 01775

Sheet Name:

**WATER SYSTEM PLAN**

Project Number:

4644-2

Issue Date:

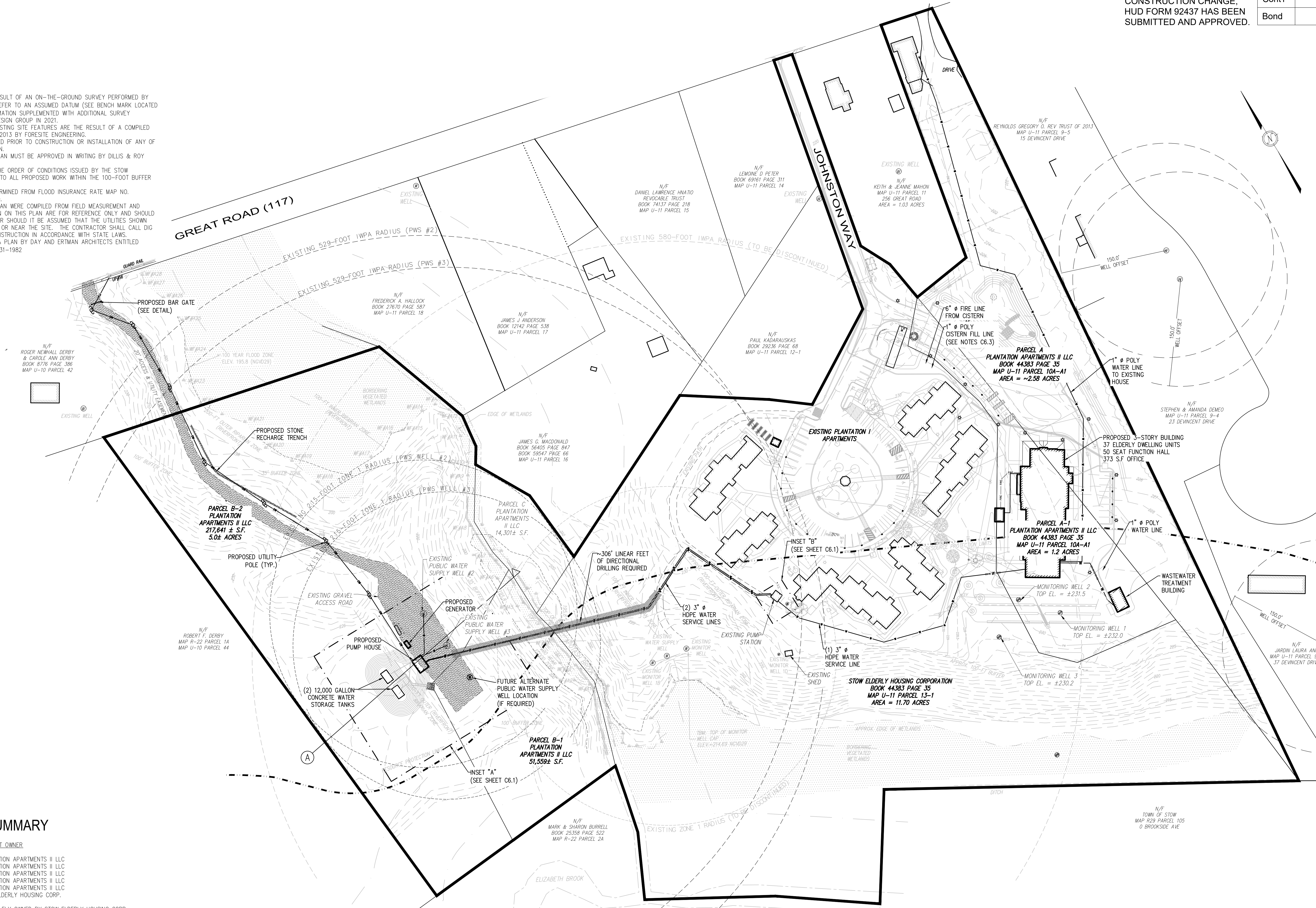
August 29, 2022

Sheet Number:

**C6.0**

**GENERAL NOTES:**

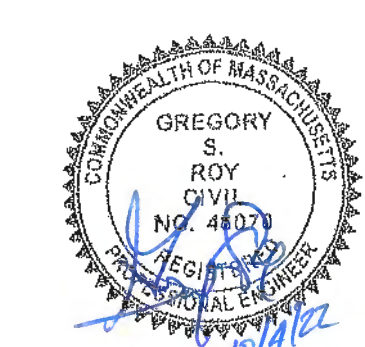
1. TOPOGRAPHIC INFORMATION IS THE RESULT OF AN ON-THE-GROUND SURVEY PERFORMED BY FORESITE ENGINEERING. ELEVATIONS REFER TO AN ASSUMED DATUM (SEE BENCH MARK LOCATED ON PLOT PLAN). TOPOGRAPHIC INFORMATION SUPPLEMENTED WITH ADDITIONAL SURVEY PERFORMED BY DILLIS & ROY CIVIL DESIGN GROUP IN 2021.
2. PROPERTY LINE AND LOCATION OF EXISTING SITE FEATURES ARE THE RESULT OF A COMPILED PLANS AND A PLAN OF LAND DATED 2013 BY FORESITE ENGINEERING.
3. PROPERTY LINES SHALL BE DETERMINED PRIOR TO CONSTRUCTION OR INSTALLATION OF ANY OF THE PROPOSED IMPROVEMENTS HEREON.
4. ANY DEVIATIONS FROM THE DESIGN PLAN MUST BE APPROVED IN WRITING BY DILLIS & ROY CIVIL DESIGN GROUP, INC.
5. THE CONTRACTOR SHALL REFER TO THE ORDER OF CONDITIONS ISSUED BY THE STOW CONSERVATION COMMISSION RELATIVE TO ALL PROPOSED WORK WITHIN THE 100-FOOT BUFFER ZONE.
6. FEMA 100-YR FLOOD ZONE WAS DETERMINED FROM FLOOD INSURANCE RATE MAP NO. 250170C061E EFFECTIVE JUNE 4, 2010.
7. EXISTING UTILITIES SHOWN ON THIS PLAN WERE COMPILED FROM FIELD MEASUREMENT AND RECORD PLANS. THE UTILITIES SHOWN ON THIS PLAN ARE FOR REFERENCE ONLY AND SHOULD NOT BE ASSUMED TO BE CORRECT NOR SHOULD IT BE ASSUMED THAT THE UTILITIES SHOWN ARE THE ONLY UTILITIES LOCATED ON OR NEAR THE SITE. THE CONTRACTOR SHALL CALL DIG SAFE 1-888-DIG-SAFE PRIOR TO CONSTRUCTION IN ACCORDANCE WITH STATE LAWS. GROUNDWATER CONTOURS REFER TO A PLAN BY DAY AND ERTMAN ARCHITECTS ENTITLED "WATER AND SEWER PLAN" DATED 8-31-1982.



**FACILITY LAND SUMMARY**

PARCEL	CURRENT OWNER
A	PLANTATION APARTMENTS II LLC
A-1	PLANTATION APARTMENTS II LLC
B-1	PLANTATION APARTMENTS II LLC
B-2	PLANTATION APARTMENTS II LLC
C	STOW ELDERLY HOUSING CORP.

\*PLANTATION APARTMENTS II LLC IS SOLELY OWNED BY STOW ELDERLY HOUSING CORP.





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Revision:

5/22/17	EDITS PER COMMENTS
8/8/17	FIRE CISTERN AND PATH WIDTH EDITS
4/27/18	UPDATED SITE LAYOUT
9/26/18	UPDATED SITE LAYOUT
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1/13/22	DESIGN DEVELOPMENT
8/29/22	ISSUED FOR CONSTRUCTION

Architect of Record: The Architectural Team

Drawn: RWP

Checked: GSR

Scale: 1"=30'

Key Plan:

Project Name:

**PLANTATION APARTMENTS I & II**  
Plantation II

Johnston Way  
Stow, Ma 01775

Sheet Name:

**WASTEWATER**

Project Number:

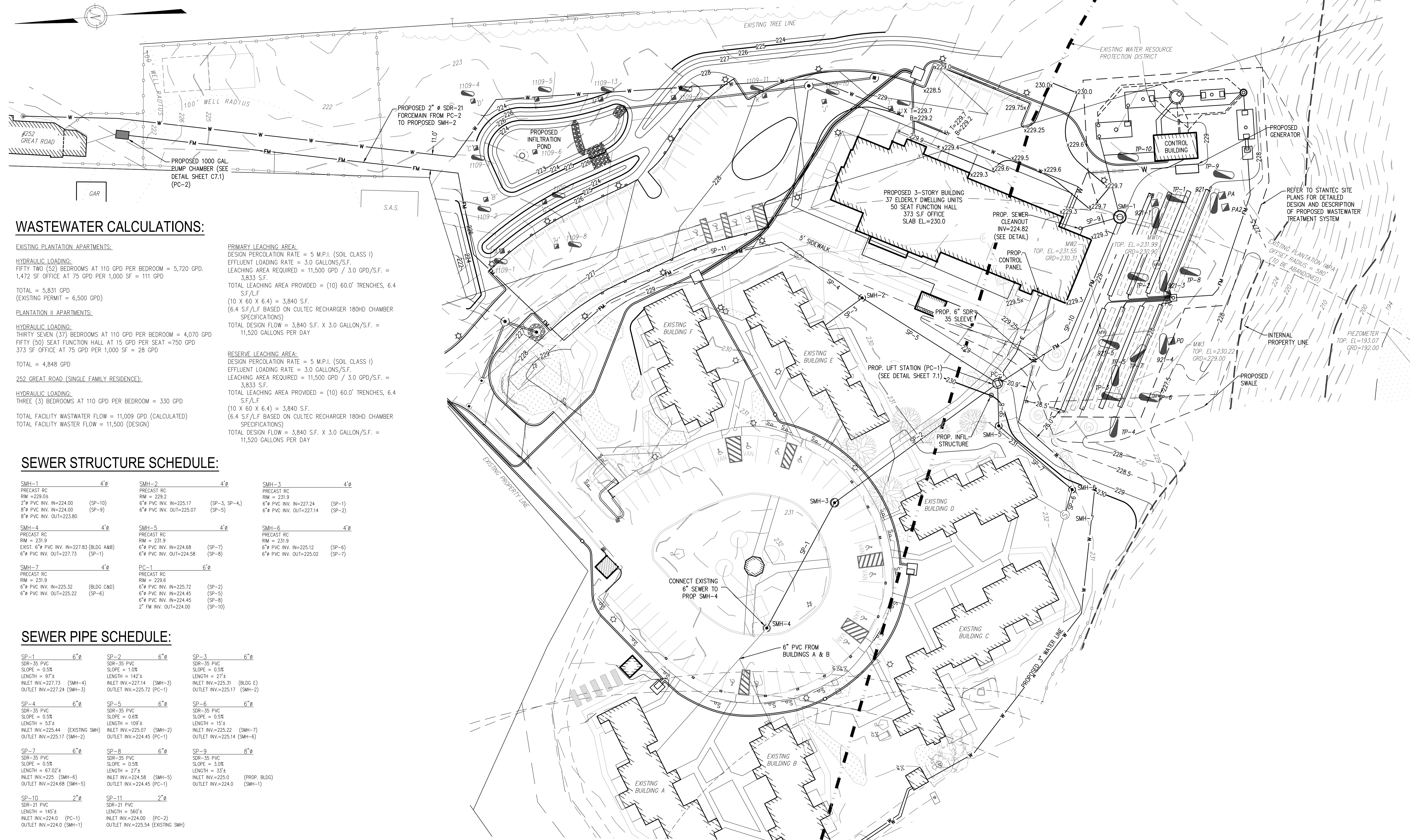
4644-2

Issue Date:

August 29, 2022

Sheet Number:

**C7.0**



**WASTEWATER CALCULATIONS:**

EXISTING PLANTATION APARTMENTS:

HYDRAULIC LOADING:  
FIFTY TWO (52) BEDROOMS AT 110 GPD PER BEDROOM = 5,720 GPD.  
1,472 SF OFFICE AT 75 GPD PER 1,000 SF = 111 GPD

TOTAL = 5,831 GPD  
(EXISTING PERMIT = 6,500 GPD)

PLANTATION II APARTMENTS:

HYDRAULIC LOADING:  
THIRTY SEVEN (37) BEDROOMS AT 110 GPD PER BEDROOM = 4,070 GPD  
FIFTY (50) SEAT FUNCTION HALL AT 15 GPD PER SEAT = 750 GPD  
373 SF OFFICE AT 75 GPD PER 1,000 SF = 28 GPD

TOTAL = 4,848 GPD

252 GREAT ROAD (SINGLE FAMILY RESIDENCE):

HYDRAULIC LOADING:  
THREE (3) BEDROOMS AT 110 GPD PER BEDROOM = 330 GPD

TOTAL FACILITY WASTEWATER FLOW = 11,009 GPD (CALCULATED)  
TOTAL FACILITY WASTEWATER FLOW = 11,500 (DESIGN)

PRIMARY LEACHING AREA:  
DESIGN PERCOLATION RATE = 5 M.P.I. (SOIL CLASS I)  
EFFLUENT LOADING RATE = 3.0 GALLONS/S.F.  
LEACHING AREA REQUIRED = 11,500 GPD / 3.0 GPD/S.F. = 3,833 S.F.

TOTAL LEACHING AREA PROVIDED = (10) 60.0' TRENCHES, 6.4 S.F./F.  
(10 X 60 X 6.4) = 3,840 S.F.  
(6.4 S.F./F. BASED ON CULTREC RECHARGER 180HD CHAMBER SPECIFICATIONS)  
TOTAL DESIGN FLOW = 3,840 S.F. X 3.0 GALLON/S.F. = 11,520 GALLONS PER DAY.

RESERVE LEACHING AREA:  
DESIGN PERCOLATION RATE = 5 M.P.I. (SOIL CLASS I)  
EFFLUENT LOADING RATE = 3.0 GALLONS/S.F.  
LEACHING AREA REQUIRED = 11,500 GPD / 3.0 GPD/S.F. = 3,833 S.F.

TOTAL LEACHING AREA PROVIDED = (10) 60.0' TRENCHES, 6.4 S.F./F.  
(10 X 60 X 6.4) = 3,840 S.F.  
(6.4 S.F./F. BASED ON CULTREC RECHARGER 180HD CHAMBER SPECIFICATIONS)  
TOTAL DESIGN FLOW = 3,840 S.F. X 3.0 GALLON/S.F. = 11,520 GALLONS PER DAY.

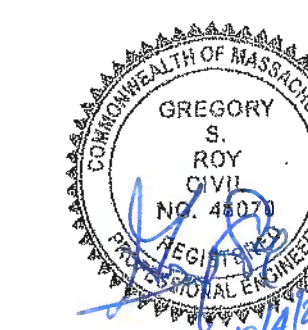
**SEWER STRUCTURE SCHEDULE:**

SMH-1 PRECAST RC RM = 229.04 2" PVC INV. IN=224.00 6" PVC INV. IN=224.00 6" PVC INV. OUT=223.80	SMH-2 PRECAST RC RM = 229.2 6" PVC INV. IN=225.17 6" PVC INV. OUT=225.07	SMH-3 PRECAST RC RM = 231.9 6" PVC INV. IN=227.24 6" PVC INV. OUT=227.14
SMH-4 PRECAST RC RM = 231.9 EXIST. 6" PVC INV. IN=227.83 (BLDG A&B) 6" PVC INV. OUT=227.73	SMH-5 PRECAST RC RM = 231.9 6" PVC INV. IN=224.68 6" PVC INV. OUT=224.58	SMH-6 PRECAST RC RM = 231.9 6" PVC INV. IN=225.12 6" PVC INV. OUT=225.02
SMH-7 PRECAST RC RM = 231.9 6" PVC INV. IN=225.32 (BLDG C&D) 6" PVC INV. OUT=225.22	PC-1 PRECAST RC RM = 229.6 6" PVC INV. IN=225.72 6" PVC INV. IN=224.45 2" FM INV. OUT=224.00	

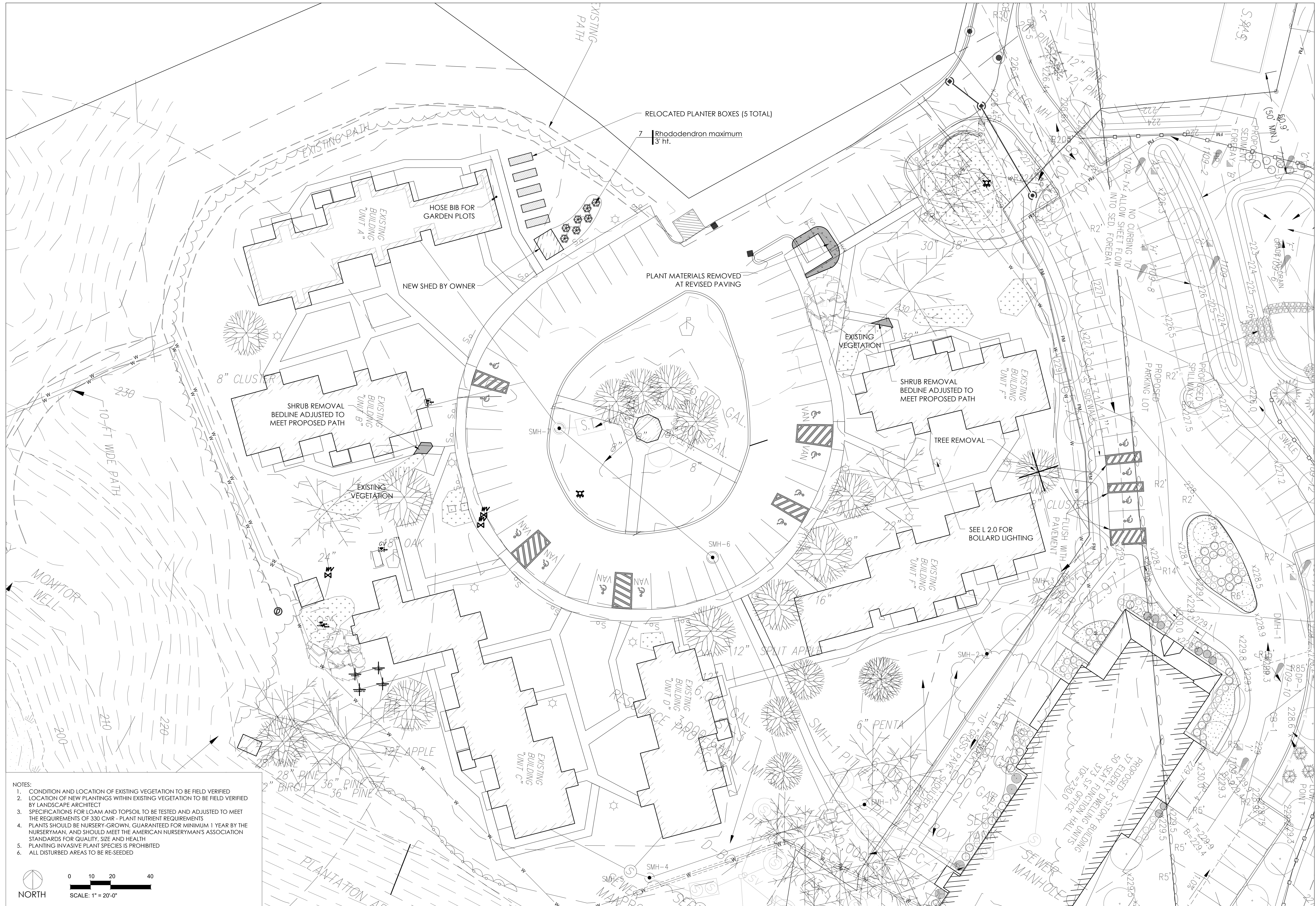
**SEWER PIPE SCHEDULE:**

SP-1 SDR-35 PVC SLOPE = 0.5% LENGTH = 97'± INLET INV.=227.73 (SMH-4) OUTLET INV.=227.24 (SMH-3)	SP-2 SDR-35 PVC SLOPE = 1.0% LENGTH = 142'± INLET INV.=227.14 (SMH-3) OUTLET INV.=225.72 (PC-1)	SP-3 SDR-35 PVC SLOPE = 0.5% LENGTH = 27'± INLET INV.=225.31 (BLDG E) OUTLET INV.=225.17 (SMH-2)
SP-4 SDR-35 PVC SLOPE = 0.5% LENGTH = 53'± INLET INV.=225.44 (EXISTING SMH) OUTLET INV.=225.17 (SMH-2)	SP-5 SDR-35 PVC SLOPE = 0.6% LENGTH = 109'± INLET INV.=225.07 (SMH-2) OUTLET INV.=224.45 (PC-1)	SP-6 SDR-35 PVC SLOPE = 0.5% LENGTH = 151'± INLET INV.=225.22 (SMH-7) OUTLET INV.=225.14 (SMH-6)
SP-7 SDR-35 PVC SLOPE = 0.5% LENGTH = 67.02'± INLET INV.=225 (SMH-6) OUTLET INV.=224.68 (SMH-5)	SP-8 SDR-35 PVC SLOPE = 0.5% LENGTH = 27'± INLET INV.=224.58 (SMH-5) OUTLET INV.=224.45 (PC-1)	SP-9 SDR-35 PVC SLOPE = 3.0% LENGTH = 33'± INLET INV.=225.0 (PROP. BLDG) OUTLET INV.=224.0 (SMH-1)
SP-10 SDR-21 PVC LENGTH = 145'± INLET INV.=224.0 (PC-1) OUTLET INV.=224.0 (SMH-1)	SP-11 SDR-21 PVC LENGTH = 560'± INLET INV.=224.00 (PC-2) OUTLET INV.=225.94 (EXISTING SMH)	

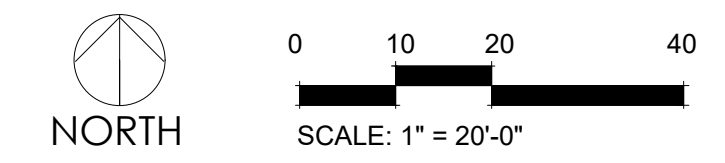
ISSUED FOR CONSTRUCTION







- NOTES:
1. CONDITION AND LOCATION OF EXISTING VEGETATION TO BE FIELD VERIFIED
  2. LOCATION OF NEW PLANTINGS WITHIN EXISTING VEGETATION TO BE FIELD VERIFIED BY LANDSCAPE ARCHITECT
  3. SPECIFICATIONS FOR LOAM AND TOPSOIL TO BE TESTED AND ADJUSTED TO MEET THE REQUIREMENTS OF 330 CMR - PLANT NUTRIENT REQUIREMENTS
  4. PLANTS SHOULD BE NURSERY-GROWN, GUARANTEED FOR MINIMUM 1 YEAR BY THE NURSERYMAN, AND SHOULD MEET THE AMERICAN NURSERYMAN'S ASSOCIATION STANDARDS FOR QUALITY, SIZE AND HEALTH
  5. PLANTING INVASIVE PLANT SPECIES IS PROHIBITED
  6. ALL DISTURBED AREAS TO BE RE-SEEDDED



**RYAN ASSOCIATES**  
 LANDSCAPE ARCHITECTURE AND PLANNING  
 144 Moody Street, Building 4  
 Waltham, MA 02453-5532  
 ph: 781 - 314 - 0401  
 www.ryan-assoc.com



**PLANTATION APARTMENTS I**  
 22 JOHNSTON WAY  
 STOW, MA

**LANDSCAPE PLAN**  
 SCALE: 1" = 20'-0"

ISSUED	DESCRIPTION
1	08-29-22 PRICING SET
2	
3	
4	
5	
6	

**L-1.0**



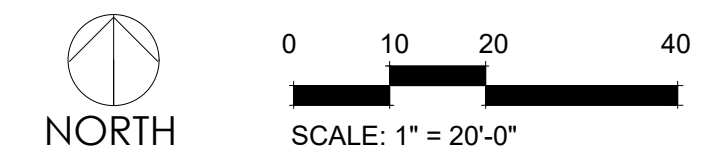


**LEGEND**

NEW BOLLARD LIGHTS (8 TOTAL)

**NOTES:**

1. QUANTITY AND LOCATION OF EXISTING BOLLARDS TO BE FIELD VERIFIED
2. EXISTING FOOTINGS TO BE RE-USED IF POSSIBLE. NEW FOOTINGS AS NEEDED.
3. OPTIMAL LOCATION FOR SOLAR SENSORS TO BE DETERMINED
4. SEE SHEET L-2.1 FOR FIXTURE CUT SHEETS



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**PLANTATION APARTMENTS I**  
 22 JOHNSTON WAY  
 STOW, MA

**LIGHTING PLAN**  
 SCALE: 1" = 20'-0"

ISSUED	DATE	DESCRIPTION
1	08-29-22	PRICING SET
2		
3		
4		
5		
6		
7		
8		
9		

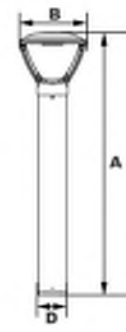
**L-2.0**





**Dimensions**

Width (B)	1" (25mm)
Diameter (D)	4" (100mm)
Height (A)	42" (1,067mm)



Pemco's ENT20BOLL & ENT50BOLL EasyLED Enterprise Bollards with UV-Stabilized Polycarbonate lenses and sealed optical compartments are designed to replace HD lighting systems up to 70w MH or HPS. These fixtures are ideal for retail centers, industrial parks, schools and universities, public transit and airports, office buildings and medical facilities.

**Specifications and Features:**

**Housing:** Extruded Aluminum Housing with Flush Mounting Base, Sand Cast Twin Arm Head, Sealed Driver Compartment.

**Listing & Ratings:**  
CSA: Listed for Wet Locations, ANSI/UL 1598, 8750  
IP68 Sealed LED Compartment.

**Finish:** Textured Architectural Bronze or Black Powdercoat Finish Over a Chromate Conversion Coating. Custom Colors Available Upon Request.

**Lens:** SoftLED Lumina Lens Opal UV-Stabilized Polycarbonate Vandal-Resistant Inner Lens to Seal LED Array.

**Mounting Options:** Mounting Kit with 6" Anchor Bolts, Included.

**EasyLED LED:** Aluminum Boards

**Wattage:** Array: 16.5w, System: 19w, (70w HD Equivalent)

**Driver:** Electronic Driver, 120-277V, 50/60Hz or 347V, 50/60Hz; Less Than 20% THD and PF>0.90. Standard Internal Surge Protection 2kV, 0-10V Dimming Standard for a Dimming Range of 100% to 10%, Dimming Source Current is 150 Microamps.

**Controls:** Fixtures Ordered with Factory Installed Motion Sensor Controls are Internally Wired for Switching and/or 1-10V Dimming Within the Housing. Remote Direct Wired Interface of 1-10V Dimming is Not Implied and May Not Be Available. Please Consult Factory. Fixtures are Sealed with LEPC Controls and May Not Function Properly With Controls Supplied By Others. Fixtures are NOT Designed for Use with Line Voltage Dimmers.

**Warranty:** 5-Year Warranty for -40°C to +50°C Environment.  
See Page 2 for Projected Lumen Maintenance Table.

**Order Information Example: ENT20BOLL1X17U5KLBGF1**

Model	F	1X17	Driver	CCT	Lens	Color	Height	Options
ENT20BOLL = EasyLED Enterprise Round Bollard	F-Wide Beam Spread	1X17=17w	U=120-277V C=347V	3K=3000K 4K=4000K 5K=5000K	L=SoftLED Lumina Lens Opal UV-Stabilized Polycarbonate Array Lens	Z=Bronze B=Black C=Custom (Consult Factory)	(Leave Blank) 42" Standard Height 36"-00" height 30"-00" height	G1=GF/GI Outlet, 15A, 120V S3=Internal Microwave Sensor (120-277V Only)



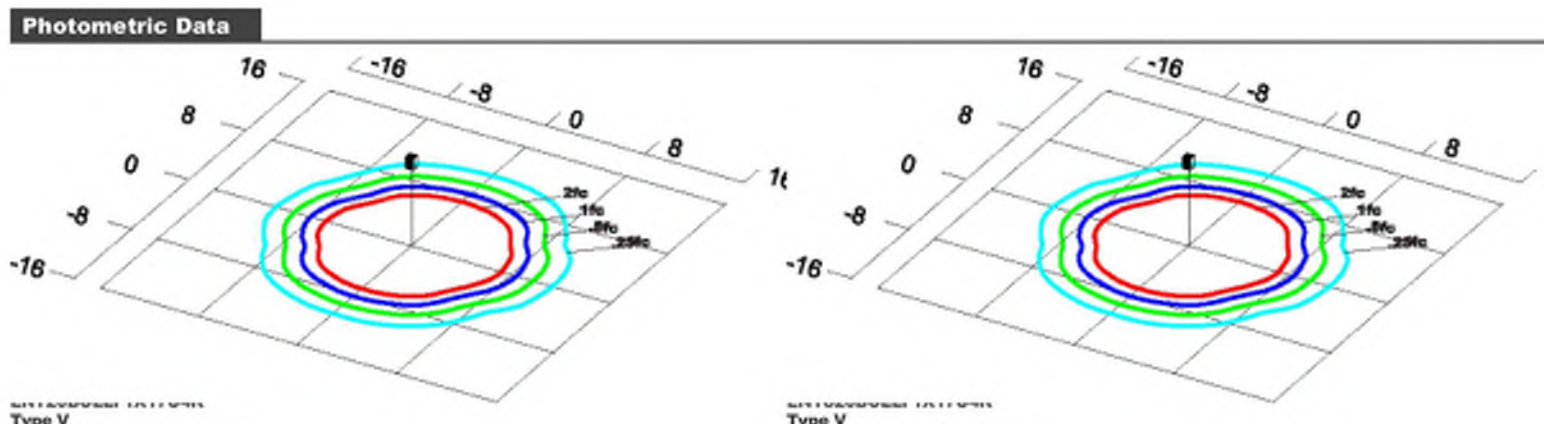
PEMCO Lighting Products 150 Pemco Way-Wilmington, DE 19804 Phone 302.892.9000 Fax 302.892.9005 www.pemcolighting.com info@pemcolighting.com ENT20BOLL-(2021)  
Specifications subject to change without notice. Rev. 01/22



**Accessories & Replacement Parts:**

Mounting Accessories (Order Separately, Field Installed)	Accessories (Order Separately, Field Installed)	Replacement Parts (Order Separately, Field Installed)
BREBASE* Bollard Retrofit Base Kit Adapts New Bollards to Most Existing Bolt Patterns. Fits all LEPC Bollards. Die Cast with Powdercoat Finish. Hardware Included. 11 1/2" Dia. x 13" H.	P17122 Remote Programming Tool for P17121	P17121 Internal Microwave Sensor (120-277V Only)
P17121 BOADP1		BOADP1 Adapter Plate with Gaskets for Outlet Boxes. Fits LEPC Round Bollards. Die Cast with Bronze Powdercoat Finish.

\*Shown Mounted



**Photometric Performance**

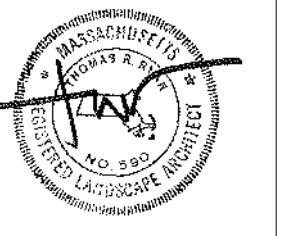
LED Board Watts	Drive Current (mA)	Input Watts	Optics	4000 CCT 70 CRI				
				Lumens	LPW	B	U	G
EasyLED 17w	125	20	Type V SoftLED	2,081	106	1	1	0

**Projected Lumen Maintenance**

Data shown for 5000 CCT		Compare to MH				
TM-21-11	Input Watts	Initial	25,000 Hrs	50,000 Hrs	100,000 Hrs	Calculated L70 @ 25°C
AFB20 L70 Lumen Maintenance @ 25°C / 77°F	20	1.00	0.96	0.92	0.84	187,000
TM-21-11	Input Watts	Initial	25,000 Hrs	50,000 Hrs	100,000 Hrs	Calculated L70 @ 50°C
AFB20 L70 Lumen Maintenance @ 50°C / 122°F	20	1.00	0.93	0.87	0.73	113,000
TM-21-11	Input Watts	Initial	25,000 Hrs	50,000 Hrs	100,000 Hrs	Calculated L80 @ 40°C
AFB20 L80 Lumen Maintenance @ 40°C / 104°F	20	1.00	0.97	0.93	0.86	144,000

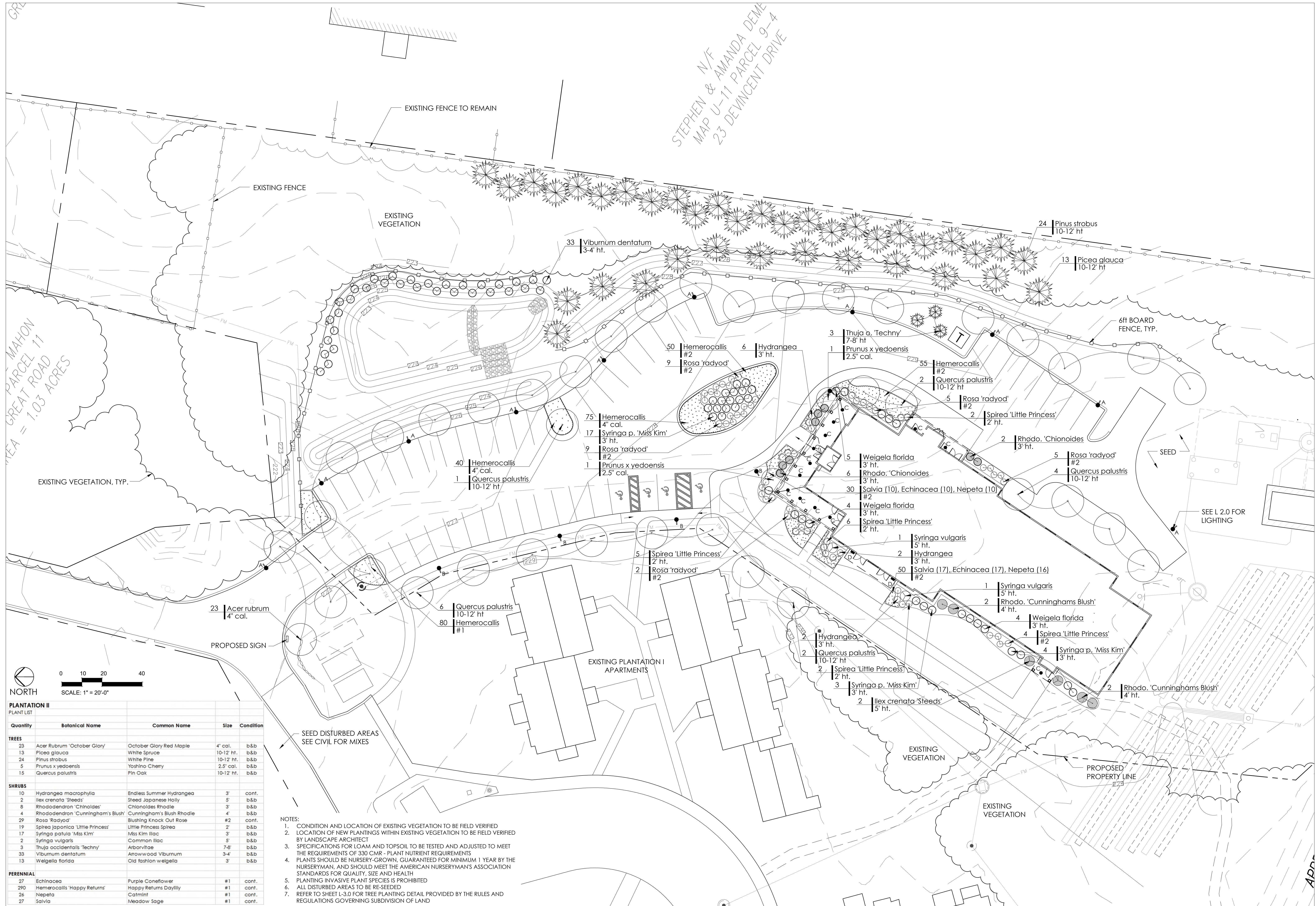
**NOTES:**  
1. Projected per IESNA TM-21-11. Data references the extrapolated performance projections for the 125mA base model in a 25°C ambient, based on 10,000 hours of LED testing per IESNA LM-80-08.  
2. Compare to MH box indicates suggested Light Loss Factor (LLF) to be used when comparing to Metal Halide (MH) systems.

PEMCO Lighting Products 150 Pemco Way-Wilmington, DE 19804 Phone 302.892.9000 Fax 302.892.9005 www.pemcolighting.com info@pemcolighting.com ENT20BOLL-(2021)  
Specifications subject to change without notice. Rev. 01/22



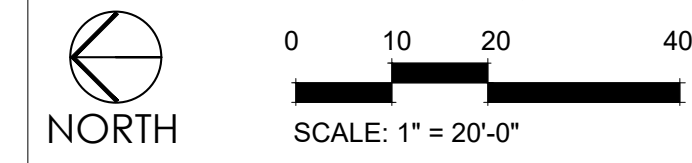
ISSUED	1	08-29-22	PRICING SET
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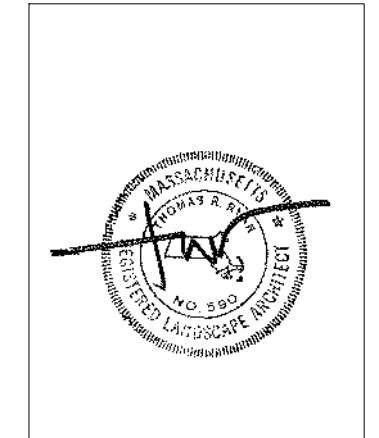
STEPHEN & AMANDA DEME  
 MAP U-11 PARCEL 9-4  
 23 DEVINCENT DRIVE

MAHON  
 PARCEL 11  
 GREAT ROAD  
 AREA = 1.03 ACRES



PLANTATION II				
PLANT LIST				
Quantity	Botanical Name	Common Name	Size	Condition
<b>TREES</b>				
23	<i>Acer rubrum</i> 'October Glory'	October Glory Red Maple	4" cal.	b&b
13	<i>Picea glauca</i>	White Spruce	10-12' ht.	b&b
24	<i>Pinus strobus</i>	White Pine	10-12' ht.	b&b
5	<i>Prunus x yedoensis</i>	Yoshino Cherry	2.5' cal.	b&b
15	<i>Quercus palustris</i>	Pin Oak	10-12' ht.	b&b
<b>SHRUBS</b>				
10	<i>Hydrangea macrophylla</i>	Endless Summer Hydrangea	3'	cont.
2	<i>Ilex crenata</i> 'Steeds'	Steeds Japanese Holly	5'	b&b
2	<i>Rhododendron</i> 'Chionoides'	Chionoides Rhodole	3'	b&b
4	<i>Rhododendron</i> 'Cunningham's Blush'	Cunningham's Blush Rhodole	4'	b&b
29	<i>Rosa</i> 'Radyod'	Bushing Knock Out Rose	#2 cont.	
19	<i>Spirea japonica</i> 'Little Princess'	Little Princess Spirea	2'	b&b
17	<i>Syringa patula</i> 'Miss Kim'	Miss Kim Lilac	3'	b&b
2	<i>Syringa vulgaris</i>	Common Lilac	5'	b&b
3	<i>Thuja occidentalis</i> 'Techny'	Aroborvitae	7-8'	b&b
33	<i>Viburnum dentatum</i>	Arrowood Viburnum	3-4'	b&b
13	<i>Weigelia florida</i>	Old fashion weigelia	3'	b&b
<b>PERENNIAL</b>				
27	<i>Echinacea</i>	Purple Coneflower	#1 cont.	
290	<i>Hemerocallis</i> 'Happy Returns'	Happy Returns Daylily	#1 cont.	
26	<i>Nepeta</i>	Catmint	#1 cont.	
27	<i>Salvia</i>	Meadow Sage	#1 cont.	

- NOTES:
- CONDITION AND LOCATION OF EXISTING VEGETATION TO BE FIELD VERIFIED
  - LOCATION OF NEW PLANTINGS WITHIN EXISTING VEGETATION TO BE FIELD VERIFIED BY LANDSCAPE ARCHITECT
  - SPECIFICATIONS FOR LOAM AND TOPSOIL TO BE TESTED AND ADJUSTED TO MEET THE REQUIREMENTS OF 330 CMR - PLANT NUTRIENT REQUIREMENTS
  - PLANTS SHOULD BE NURSERY-GROWN, GUARANTEED FOR MINIMUM 1 YEAR BY THE NURSERYMAN, AND SHOULD MEET THE AMERICAN NURSERYMAN'S ASSOCIATION STANDARDS FOR QUALITY, SIZE AND HEALTH
  - PLANTING INVASIVE PLANT SPECIES IS PROHIBITED
  - ALL DISTURBED AREAS TO BE RE-SEEDED
  - REFER TO SHEET L-3.0 FOR TREE PLANTING DETAIL PROVIDED BY THE RULES AND REGULATIONS GOVERNING SUBDIVISION OF LAND



ISSUED	1	08-29-22	PRICING SET
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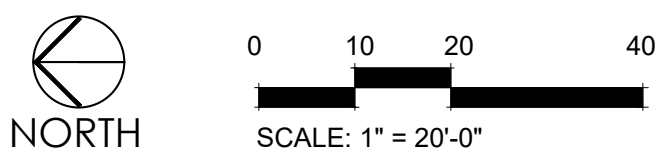


ROAD 11  
1.03 ACRES

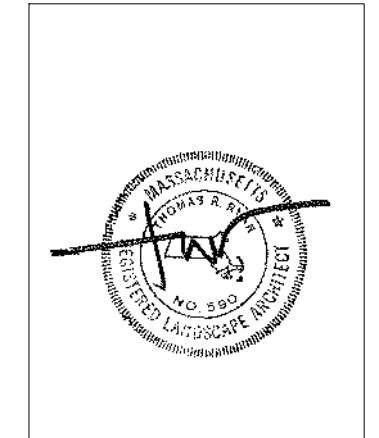
LEGEND

- 1 L-2.1 A - POLE LIGHT WITH HOUSE SIDE SHIELD
- 2 L-2.1 B - POLE LIGHT NO HOUSE SIDE SHIELD
- 3 L-2.1 C - DOWNLIGHT
- 4 L-2.1 D - SCNCE

NOTES:  
 1. ALL FIXTURES TO BE FULL-CUT OFF  
 2. ALL FIXTURES ALONG NORTH SIDE OF PARKING TO HAVE HOUSE-SIDE-SHIELD  
 3. SEE SHEET L-2.1 FOR LIGHT FIXTURE CUT SHEETS



**RYAN ASSOCIATES**  
 LANDSCAPE ARCHITECTURE AND PLANNING  
 144 Moody Street, Building 4  
 Waltham, MA 02453-5532  
 ph: 781-314-0401  
 www.ryan-assoc.com



**PLANTATION APARTMENTS II**  
 22 JOHNSTON WAY  
 STOW, MA

**LIGHTING PLAN**  
 SCALE: 1" = 20'-0"

ISSUED	08-29-22	PRICING SET
1		
2		
3		
4		
5		
6		

**L-2.0**

APPROX. 100'



**CATALOG PART NUMBERS**

LUMINAIRE: **DAN DI NL 50WSK U 4 SMS H N XX**

LUMINAIRE: DANVILLE SERIES  
 GLOBELENS: NO SECONDARY LENS  
 DISTRIBUTION: TYPE IV  
 LIGHT SOURCE: LED 50 Ww/6k, 5K CCT  
 VOLTAGE: 120-277V  
 FINISH: POLYESTER POWDERCOAT COLOR TBD  
 OPTIONS: HOUSE SIDE SHIELD INSIDE SHADE

POLE: **412-A125-F355-SBC-XX**

STYLE: A BASE, STRAIGHT SMOOTH POLE  
 MATERIAL: ALUMINUM  
 SIZE: 4" DIAM., 12" TALL, .125" WALL THICKNESS  
 FINISH: POLYESTER POWDERCOAT COLOR TBD  
 OPTIONS: HANDHOLE 18" FROM THE BOTTOM

ARM: **PSC-16-PF11-XX**

STYLE: SHEPHERD'S CROOK  
 MATERIAL: ALUMINUM  
 SIZE: 35" CENTER TO CENTER  
 FINISH: POLYESTER POWDERCOAT COLOR TBD  
 OPTIONS: PF11 CAP

7.5" BOLT CIRCLE

PEMCO LIGHTING PRODUCTS, INC.  
 150 PEMCO WAY - WILMINGTON, DE 19804-3535  
 P-(302) 892-9903 F-(302) 892-9905 WWW.PEMCOLIGHTING.COM

JOB NAME: **12212 PLANTATION APARTMENTS**  
 DRAWN BY: SBT CS1019 TYPE: TYPE A REVISION: 0  
 DATE: 10/26/18 REP: HURRY PAGE: 1 OF 2

**1** TYPE "A" - POLE LIGHT WITH HOUSE SIDE SHIELD  
 L-2.1 SCALE: NTS CUT SHEET

**CATALOG PART NUMBERS**

LUMINAIRE: **DAN DI NL 50WSK U 4 SMS N XX**

LUMINAIRE: DANVILLE SERIES  
 GLOBELENS: NO SECONDARY LENS  
 DISTRIBUTION: TYPE IV  
 LIGHT SOURCE: LED 50 Ww/6k, 5K CCT  
 VOLTAGE: 120-277V  
 FINISH: POLYESTER POWDERCOAT COLOR TBD  
 OPTIONS:

POLE: **412-A125-F355-SBC-XX**

STYLE: A BASE, STRAIGHT SMOOTH POLE  
 MATERIAL: ALUMINUM  
 SIZE: 4" DIAM., 12" TALL, .125" WALL THICKNESS  
 FINISH: POLYESTER POWDERCOAT COLOR TBD  
 OPTIONS: HANDHOLE 18" FROM THE BOTTOM

ARM: **PSC-16-PF11-XX**

STYLE: SHEPHERD'S CROOK  
 MATERIAL: ALUMINUM  
 SIZE: 35" CENTER TO CENTER  
 FINISH: POLYESTER POWDERCOAT COLOR TBD  
 OPTIONS: PF11 CAP

7.5" BOLT CIRCLE

PEMCO LIGHTING PRODUCTS, INC.  
 150 PEMCO WAY - WILMINGTON, DE 19804-3535  
 P-(302) 892-9903 F-(302) 892-9905 WWW.PEMCOLIGHTING.COM

JOB NAME: **12212 PLANTATION APARTMENTS**  
 DRAWN BY: SBT CS1019 TYPE: TYPE B REVISION: 0  
 DATE: 10/26/18 REP: HURRY PAGE: 2 OF 2

**2** TYPE "B" - POLE LIGHT NO HOUSE SIDE SHIELD  
 L-2.1 SCALE: NTS CUT SHEET

**ELCO Lighting**

Project name: Recessed Elco Incon E414C0830W / E4LC083CA  
 Fixture type: \_\_\_\_\_  
 Date: \_\_\_\_\_

### 4" LED Light Engine with Baffle Trim

The perfect lighting solution for high-end residential and light commercial projects.

**Features**

- High efficacy LED module.
- Track (LED-12V dimming).
- Must be used with ELCO 4" Cedar™ System Housing.
- Frosted acrylic module lens for even lumen distribution.
- Life span of 50,000 hours L70.
- USA designed and assembled.
- Limited 5 year warranty.

**Specifications**

Wattage: 8.76W - 18W  
 Lumens: 850 lm - 1600 lm  
 Color Temp.: 2700K - Sunseek  
 Lamp Type: LED  
 Beam Angle: 60°  
 CRI: 93+  
 Damp Location: Listed

**Options**

Black w/White ring All Bronze All White

**Dimensions**

4" height, 3 1/4" diameter, 5 1/2" mounting depth.

**Technical Details**

**Optics:** Frosted polycarbonate module lens diffuses light evenly throughout while reducing glare with LED technology.

**Trim Construction:** Reflector is two piece trim for maximum color versatility. Design allows for minimal glare and a strong glare cut-off. Trim is constructed of metal for lasting durability.

**Installation:** Must be installed on a Cedar™ System housing with compatible lumen rating. Frames are available for New Construction and Remodel as IC or non-IC.

**LED Technology:**

- Extremely accurate Color Rendering Index of 93+.
- Efficacy of 97 lumens per watt.
- Lumen Maintenance of 50,000 hours L70 Life based on LM80 standardized test results.
- Superior Thermal Management by utilizing ELCO Red heat sink.
- Instant On to Full Brightness technology.
- No LED glow-out.

**Listings:**

- UL Listed for Wet Location.
- RHFS Compliant.
- ENERGY STAR® Certified.

**Product Number Builder** Example: E414C0827W, E414C0827BZ, E414C0827B

ELCO 4" Baffle	Lumens	Color Temp.	Finish
E414C	850 lm	27 2700K	W All White
	12 1200 lm	30 3000K	BZ All Bronze
	14 1400 lm	35 3500K	B Black w/White Ring
		40 4000K	
		40 Limited	

2042 E. Vernon Ave., Vernon, CA 90058 • Tel (323) 235-2800 Fax (323) 231-3200 • elcolighting.com  
 © ELCO Lighting 2018. All rights reserved • Rev. 20 Jan 2018 • ELCO Lighting reserves the right to make specification and design changes without notice. Page 1 of 2

**3** TYPE "C" - DOWNLIGHT  
 L-2.1 SCALE: NTS CUT SHEET

**On-the-Wall Outdoor Sconces**

**390 SERIES**

39013 | BRUSHED RUST †  
 39015 | BLACK  
 39017 | ULTRA CHROME †

**REPLACEMENT PARTS**  
 LENS-3901 | White Smooth Acrylic Lens

**Product Family** 390  
**LED Type** 1 - White  
**Finish** 1 - White †, 3 - Brushed Rust †, 3B - Bronze †, 4 - Brushed Verde †, 5 - Black, 7 - Ultra Chrome †, 8 - Gold Pewter †, 9 - Aged Brass †, C - Custom †  
**Modes** 4LED, 10LEDGU, 12LED, 14LED, 17LEDGU, 2X10LEDGU, 2X12LEDGU, 2X17LEDGU  
**Features & Options\*** 120V, 50/60Hz Electronic, Non-Dimmable 13 Ww/6k, 850 Lumens, #B2C1; Options: 30K, 35K, 40K, PE, P12; 120V, 40Hz Electronic, Trac, Dimmable to 10% 9 Ww/6k, 850 Lumens, G2/4 Base; Options: 30K, 35K, 40K, PE, P12; 120V, 50/60Hz Electronic, D-10 Dimmable 14 Ww/6k, 1710 Lumens, #B2C1; Options: 30K, 35K, 40K, PE, P12; 120V, 40Hz Electronic, Trac, Dimmable to 10% 11 Ww/6k, 1100 Lumens, G2/4 Base; Options: 30K, 35K, 40K, PE, P12; 120V, 50/60Hz Electronic, Non-Dimmable 12 Ww/6k, 1100 Lumens, #B2C1; Options: 30K, 35K, 40K, DIA, PE, P12; 120V, 40Hz Electronic, Trac, Dimmable to 10% 15 Ww/6k, 1400 Lumens, G2/4 Base; Options: 30K, 35K, 40K, PE, P12; 120V, 40Hz Electronic, Trac, Dimmable to 10% 18 Ww/6k, 1600 Lumens, G2/4 Base; Options: 30K, 35K, 40K, PE, P12; 120V, 40Hz Electronic, Trac, Dimmable to 10% 22 Ww/6k, 2200 Lumens, G2/4 Base; Options: 30K, 35K, 40K, PE, P12; 120V, 40Hz Electronic, Trac, Dimmable to 10% 30 Ww/6k, 3000 Lumens, G2/4 Base; Options: 30K, 35K, 40K, PE, P12

\*May not be available in all wattages or combinations, please call factory.  
 † ADA Compliant ‡ Additional lead time may apply.

9-15-2016 INCONLIGHTING.COM

**4** TYPE "D" - SCONCE  
 L-2.1 SCALE: NTS CUT SHEET

**RYAN ASSOCIATES**  
 LANDSCAPE ARCHITECTURE AND PLANNING  
 144 Moody Street, Building 4  
 Waltham, MA 02453-5532  
 ph: 781 - 314 - 0401  
 www.ryan-assoc.com

**PLANTATION APARTMENTS II**  
 22 JOHNSTON WAY  
 STOW, MA

**LIGHTING CUT SHEETS**  
 SCALE: NTS

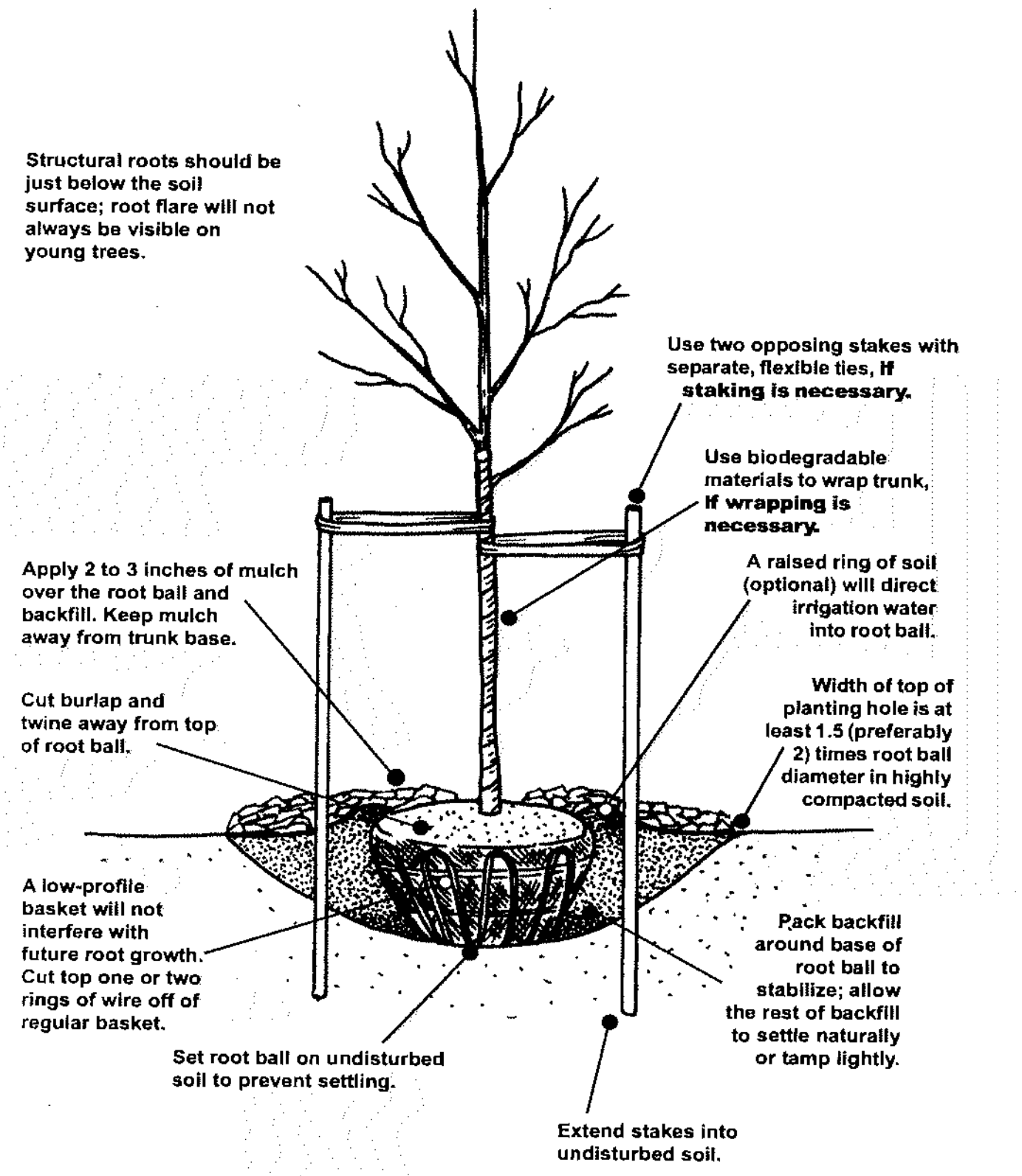
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**L-2.1**



# Tree Planting Diagram

Structural roots should be just below the soil surface; root flare will not always be visible on young trees.



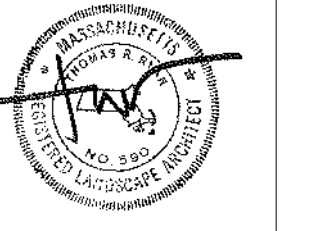
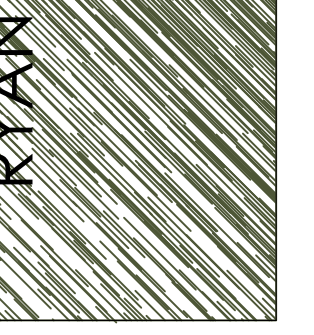
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## TREE PLANTING DETAIL

SCALE: NTS

SECTION

**RYAN ASSOCIATES**  
LANDSCAPE ARCHITECTURE AND PLANNING  
144 Moody Street, Building 4  
William, MA 02453-5532  
ph: 781 - 314 - 0401  
www.ryan-assoc.com



**PLANTATION APARTMENTS II**  
22 JOHNSTON WAY  
STOW, MA

**LANDSCAPE DETAILS**  
SCALE: VARIES

ISSUED	DATE	DESCRIPTION
1	08-29-22	PRICING SET
2		
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L-3.0



Consultant:

Revision:

Architect of Record:

Drawn: JS

Checked: AS

Scale: 1/8" = 1'-0"

Key Plan:

Project Name:

## PLANTATION APARTMENTS I & II

Plantation II

Johnston Way  
 Stow, MA 01775

Sheet Name:

## OVERALL FLOOR PLANS

Project Number:

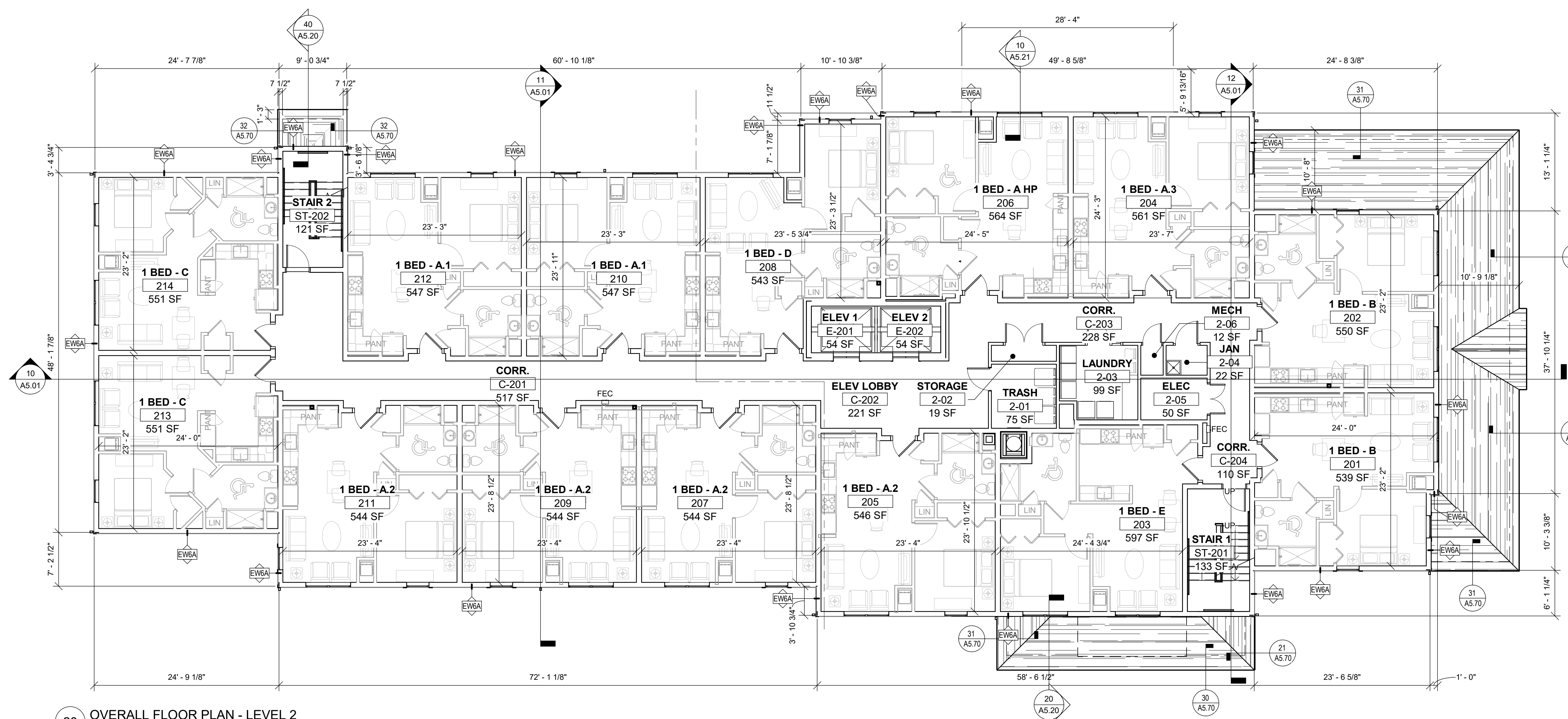
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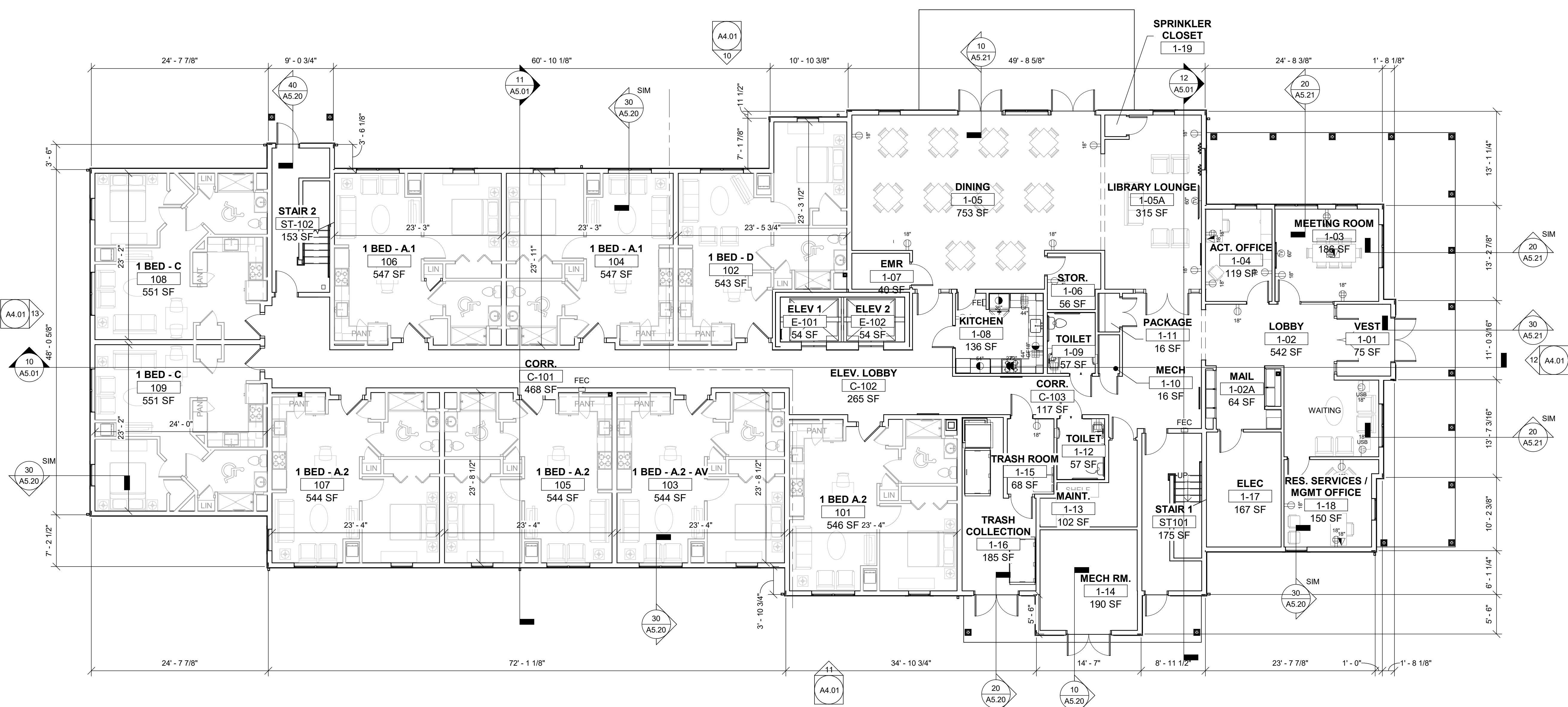
AUGUST 29, 2022

Sheet Number:

# A1.01



20 OVERALL FLOOR PLAN - LEVEL 2  
 Scale: 1/8" = 1'-0"



10 OVERALL FLOOR PLAN - LEVEL 1  
 Scale: 1/8" = 1'-0"



Consultant:

Revision:

Architect of Record:

Drawn: JS

Checked: AS

Scale: 1/8" = 1'-0"

Key Plan:

Project Name:

**PLANTATION  
 APARTMENTS I & II**

Plantation II

Johnston Way  
 Stow, MA 01775

Sheet Name:

**GROUND FLOOR SLAB  
 PLAN**

Project Number:

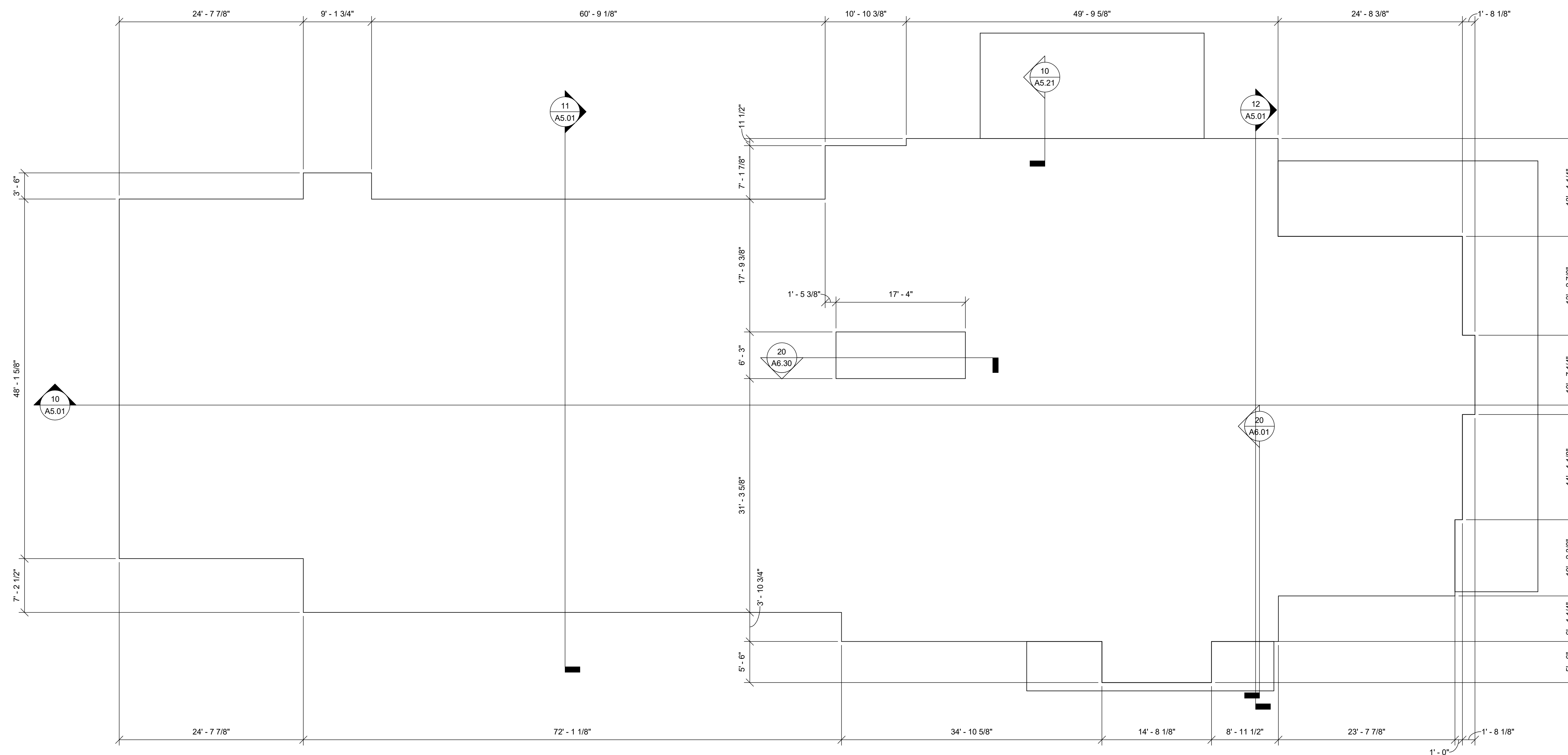
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Issue Date:

AUGUST 29, 2022

Sheet Number:

**A1.01b**



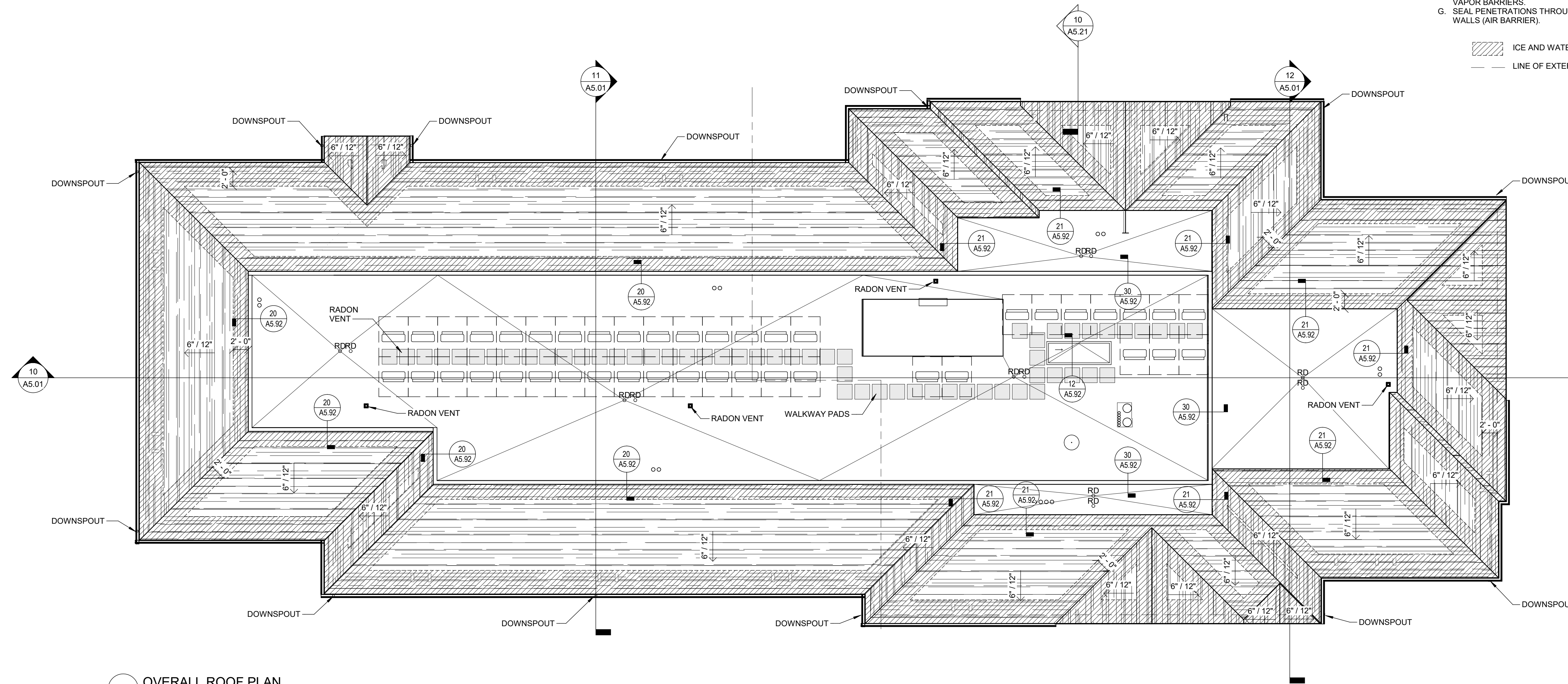
10 OVERALL SLAB PLAN - LEVEL 1  
 Scale: 1/8" = 1'-0"



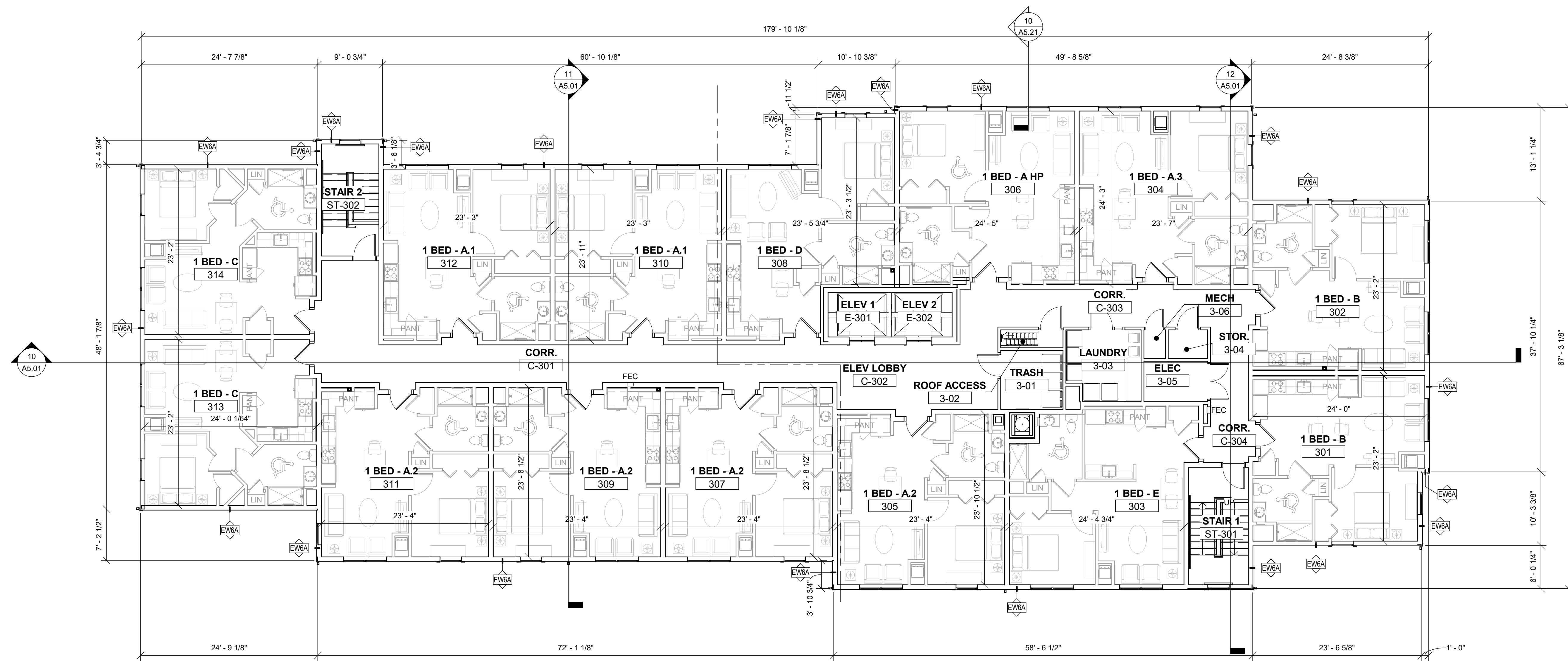
**GENERAL NOTES - ROOF**

- A. DIMENSIONS GIVEN ARE TO FINISH SURFACES UNLESS OTHERWISE NOTED.
- B. SOFFIT AND RIDGE VENT DIMENSIONS ARE FOR GENERAL PLANNING AND DO NOT REPRESENT EXACT DIMENSIONS. CONTRACTOR TO FOLLOW ROOF DETAILS.
- C. REFER TO FINISH SCHEDULE FOR CEILING FINISHES.
- D. MAINTAIN INTEGRITY OF RATED ROOF/CEILING AND FLOOR/CEILING ASSEMBLIES AT INTERSECTION WITH UNRATED PARTITIONS.
- E. WHERE WALL OR FLOOR ASSEMBLIES OF DIFFERENT RESISTANCE RATINGS ADJOIN, MAINTAIN THE INTEGRITY OF THE HIGHER RATED ASSEMBLY CONTINUOUS THROUGH CONCEALED SPACES.
- F. SEAL AND SECURE IN PLACE LAPS AND PENETRATIONS THROUGH AIR AND VAPOR BARRIERS.
- G. SEAL PENETRATIONS THROUGH FLOOR/CEILING, DEMISING AND CORRIDOR WALLS (AIR BARRIER).

ICE AND WATER SHIELD  
 LINE OF EXTERIOR WALL BELOW



**20 OVERALL ROOF PLAN**  
 Scale: 1/8" = 1'-0"



**10 OVERALL FLOOR PLAN - LEVEL 3**  
 Scale: 1/8" = 1'-0"

Consultant:

Revision:

Architect of Record:

Drawn: JS

Checked: AS

Scale: As indicated

Key Plan:

Project Name:

**PLANTATION APARTMENTS I & II**

Plantation II

Johnston Way  
 Stow, MA 01775

Sheet Name:

**OVERALL FLOOR PLANS**

Project Number:

09152

Issue Date:

AUGUST 29, 2022

Sheet Number:

**A1.02**



Consultant:

Revision:

Architect of Record:

Drawn: JS

Checked: AS

Scale: As indicated

Key Plan:

Project Name:  
**PLANTATION APARTMENTS I & II**

Plantation II

Johnston Way  
 Stow, MA 01775

Sheet Name:

**WASTEWATER TREATMENT PLANT PLANS & ELEVATIONS**

Project Number:

09152

Issue Date:

AUGUST 29, 2022

Sheet Number:

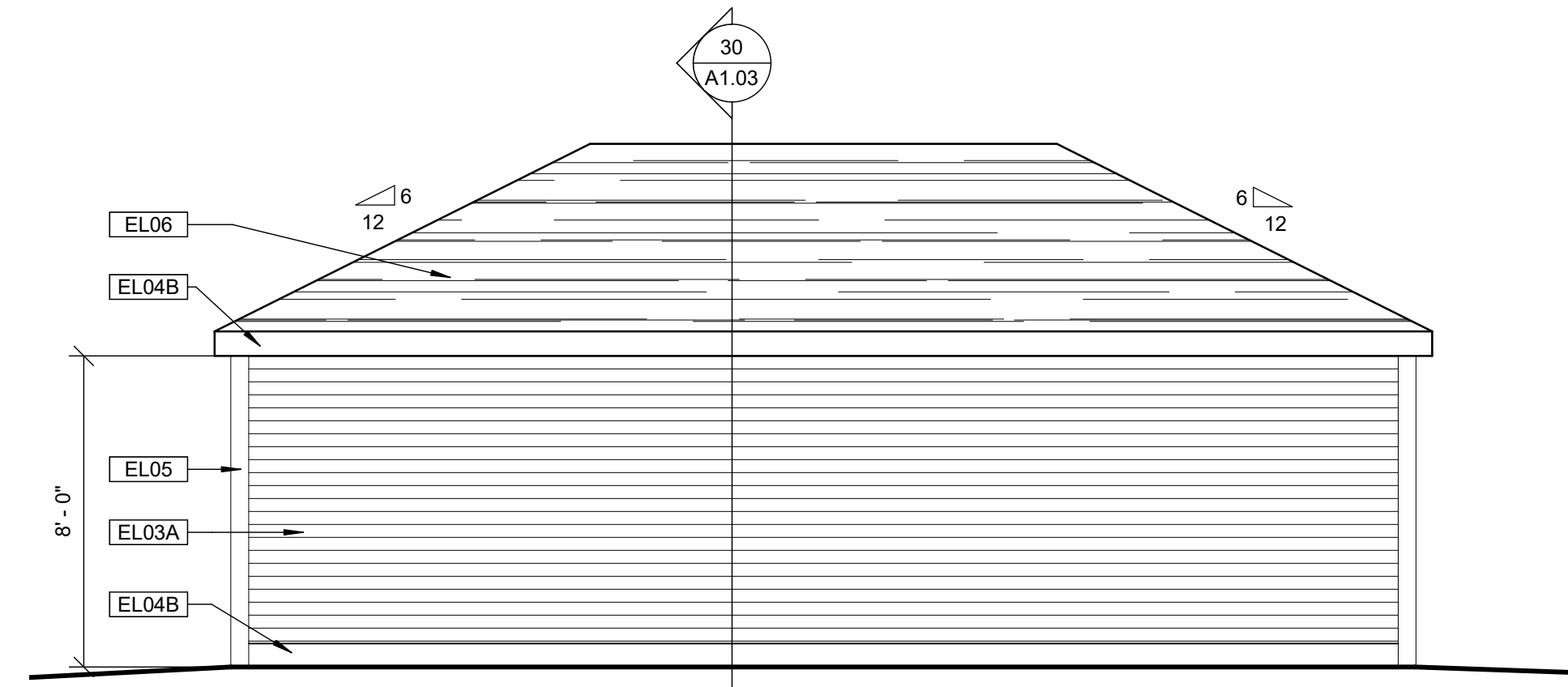
**A1.03**

**KEYNOTE LEGEND - EXTERIOR ELEVATIONS**

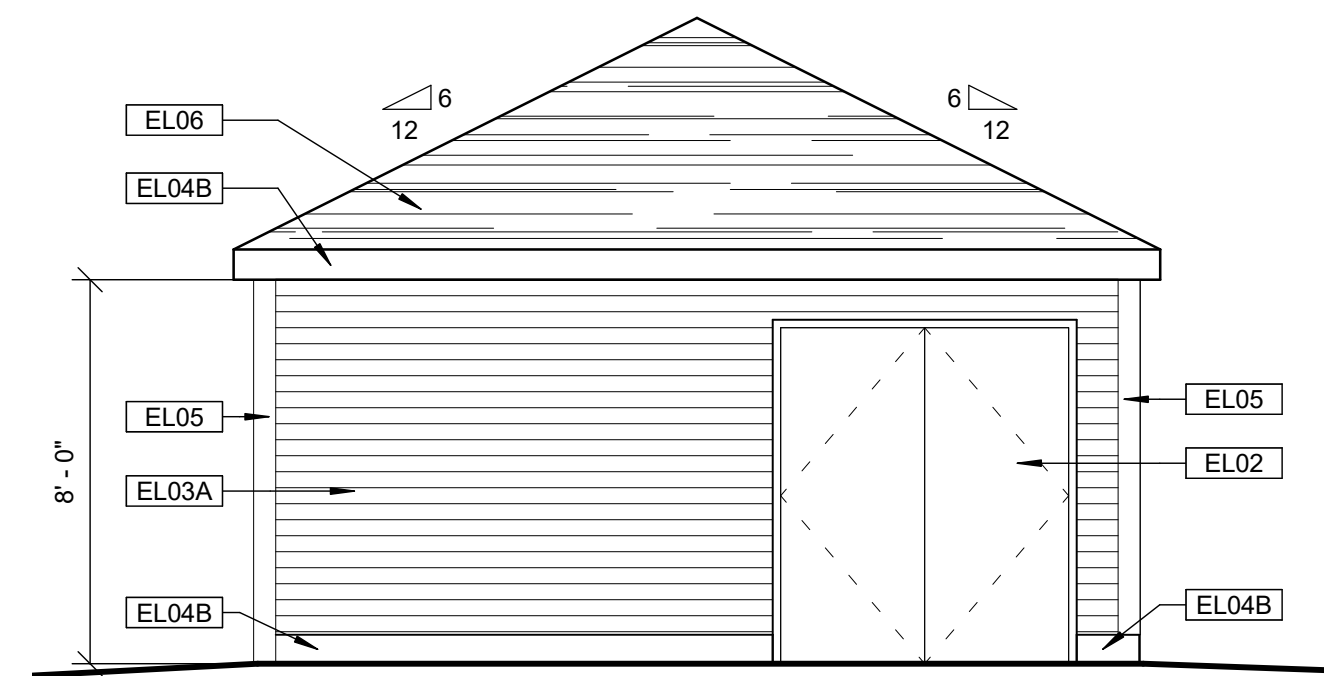
- EL02 DOOR. SEE SCHEDULE AND SPECIFICATIONS
- EL03A FIBER CEMENT LAP SIDING, JAMES HARDIE, COLOR #1
- EL04B FIBER CEMENT 5/4x8 SMOOTH TRIM BOARD, JAMES HARDIE, COLOR
- EL05 FIBER CEMENT 5/4x8 SMOOTH CORNER BOARD, JAMES HARDIE, COLOR
- EL06 ASPHALT SHINGLE ROOFING SYSTEM WITH UNDERLAYMENT. SEE SPECS. REFER TO ROOF PLANS

**GENERAL NOTES - PLANS**

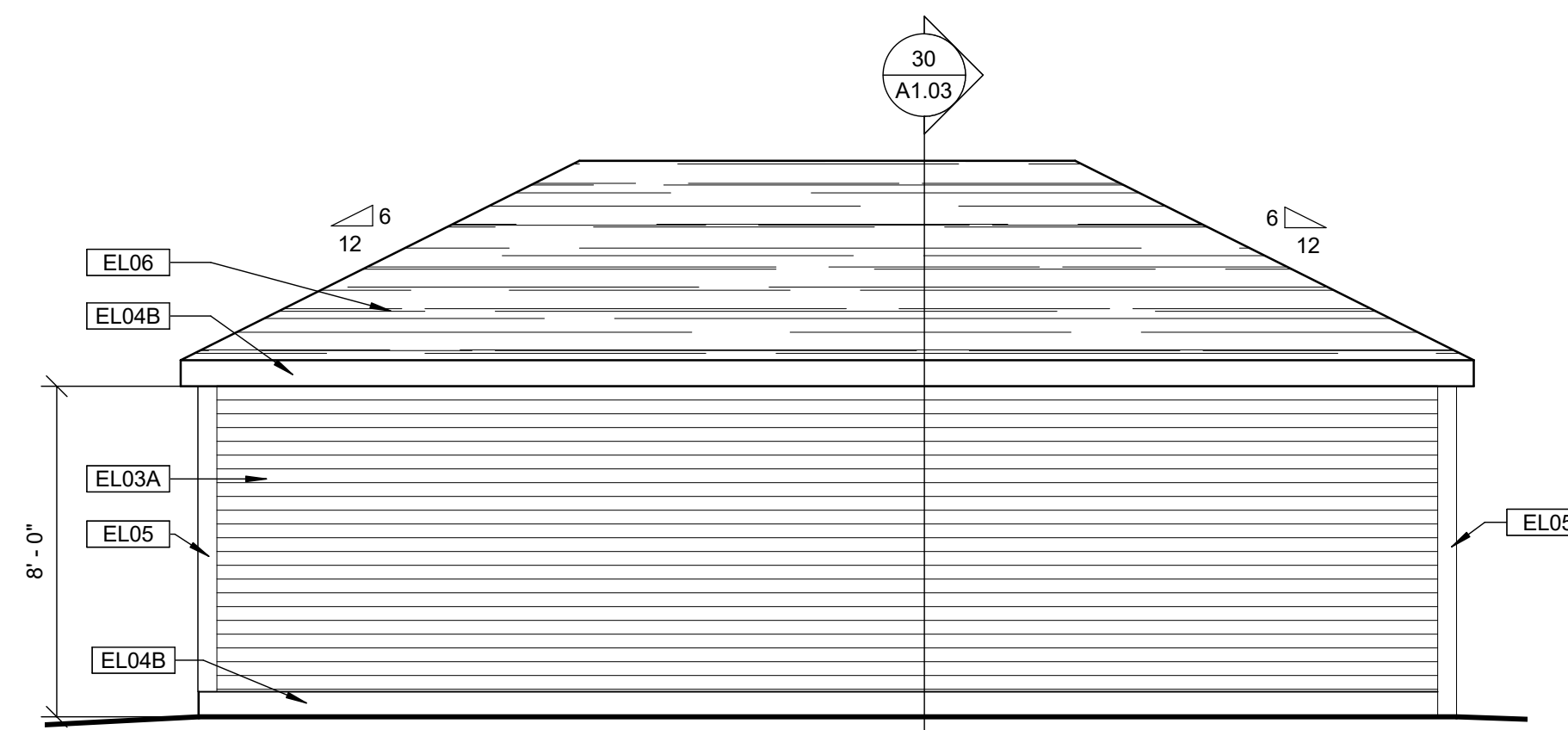
- A. ALL DIMENSIONS ARE TO FACE OF STUD OR FACE OF MASONRY UNLESS OTHERWISE NOTED.
- B. REFER TO ENLARGED UNIT PLANS FOR WALL ASSEMBLY TYPES AND DIMENSIONS.
- C. LCP & MP MUST BE LOCATED MIN. 18" FROM INSIDE CORNERS TO EDGE OF PANEL. PANELS TO BE MOUNTED WITHIN REQUIRED REACH RANGES.
- D. FOR PARTITION TYPES REFER TO DRAWINGS IN THE A3 SERIES.
- E. FOR ENLARGED KITCHEN AND BATH PLANS REFER TO DRAWINGS IN A7 SERIES.
- F. FOR FLOOR FINISHES REFER TO DRAWINGS IN A9 SERIES.
- G. PROVIDE BLOCKING AT LOCATION OF IN WALL CABLE PLATE AS SHOWN IN ELECTRICAL DRAWINGS.
- H. LOCATE ALL DOORS 4" FROM ADJACENT CORNER TO ACCOMMODATE CASING, UNLESS OTHERWISE NOTED. CENTER ALL DOORS ON CLOSET SPACES UNLESS SHOWN OTHERWISE.
- I. OR INTERIOR ELEVATIONS AND ENLARGED PLANS REFER TO A7 SERIES.



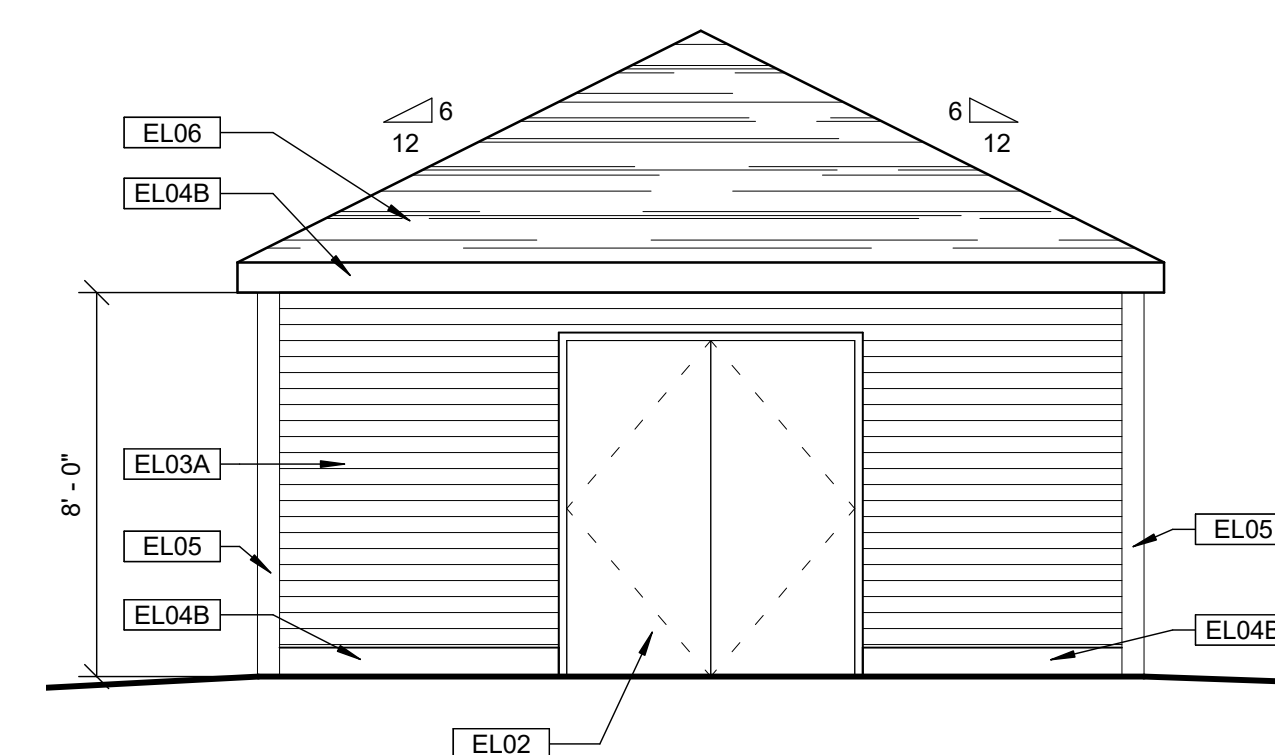
23 WWTP - WEST ELEVATION  
 Scale: 1/4" = 1'-0"



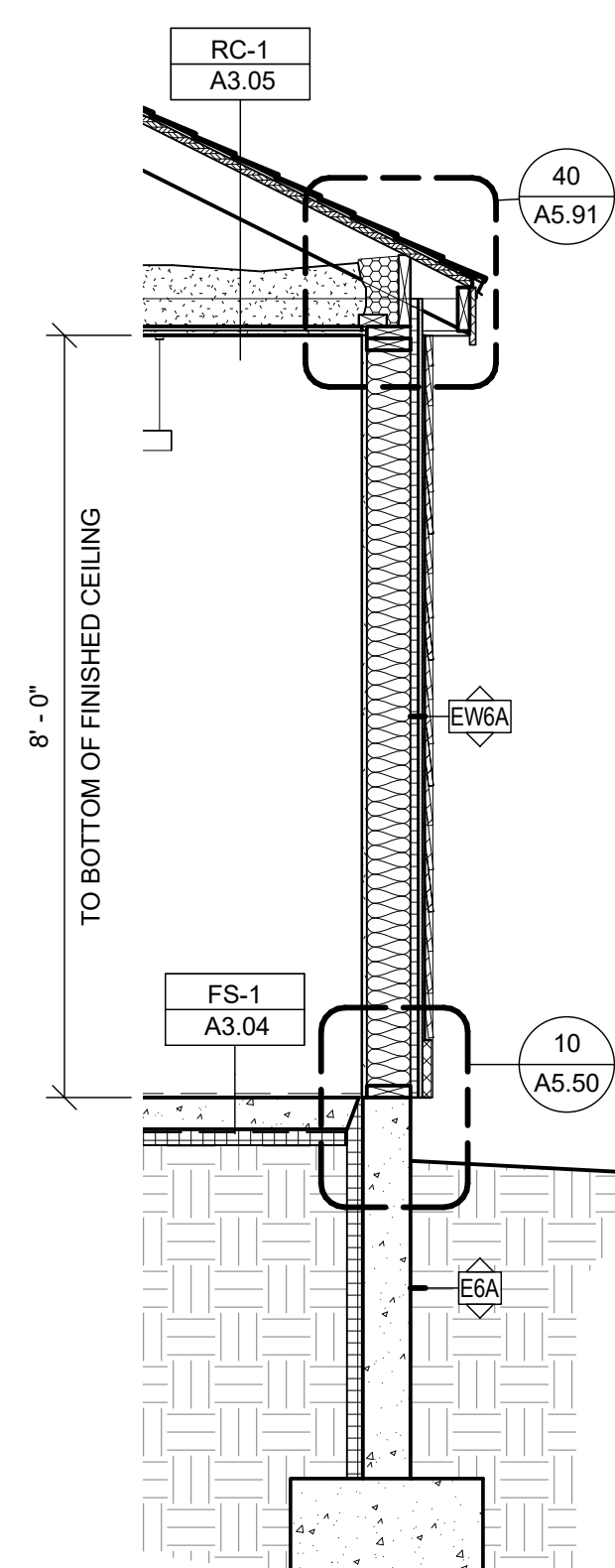
22 WWTP - SOUTH ELEVATION  
 Scale: 1/4" = 1'-0"



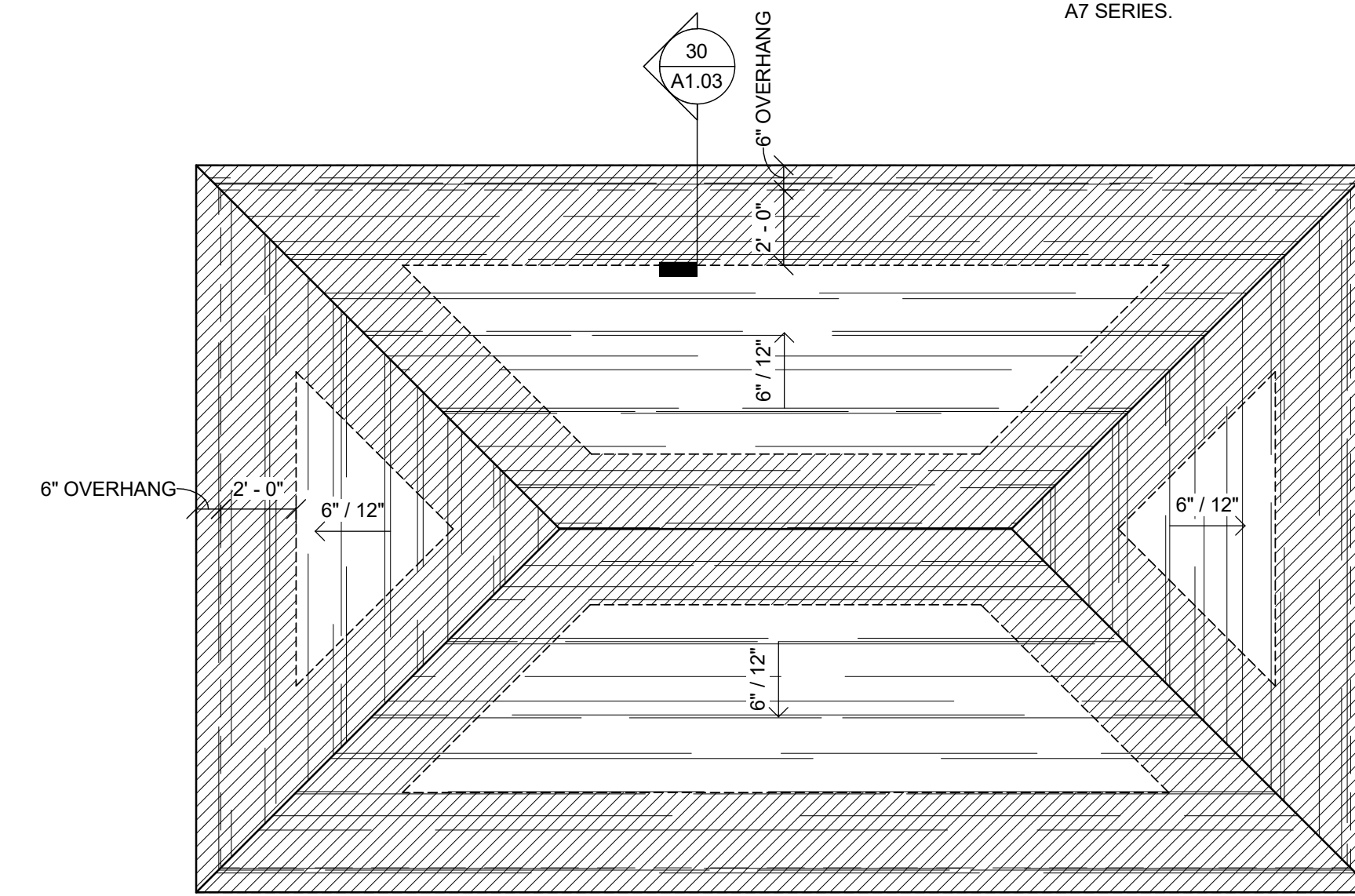
21 WWTP - EAST ELEVATION  
 Scale: 1/4" = 1'-0"



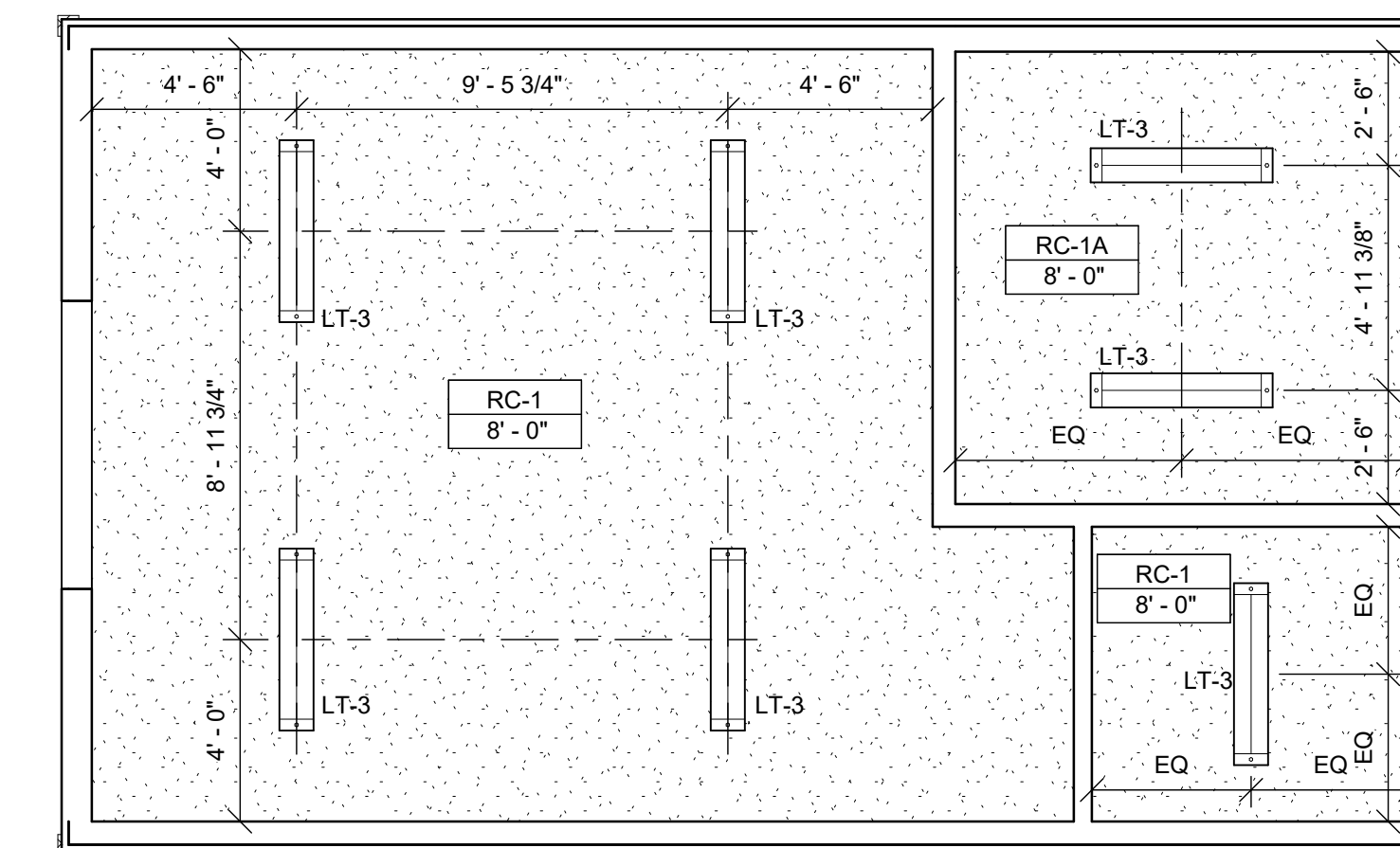
20 WWTP - NORTH ELEVATION  
 Scale: 1/4" = 1'-0"



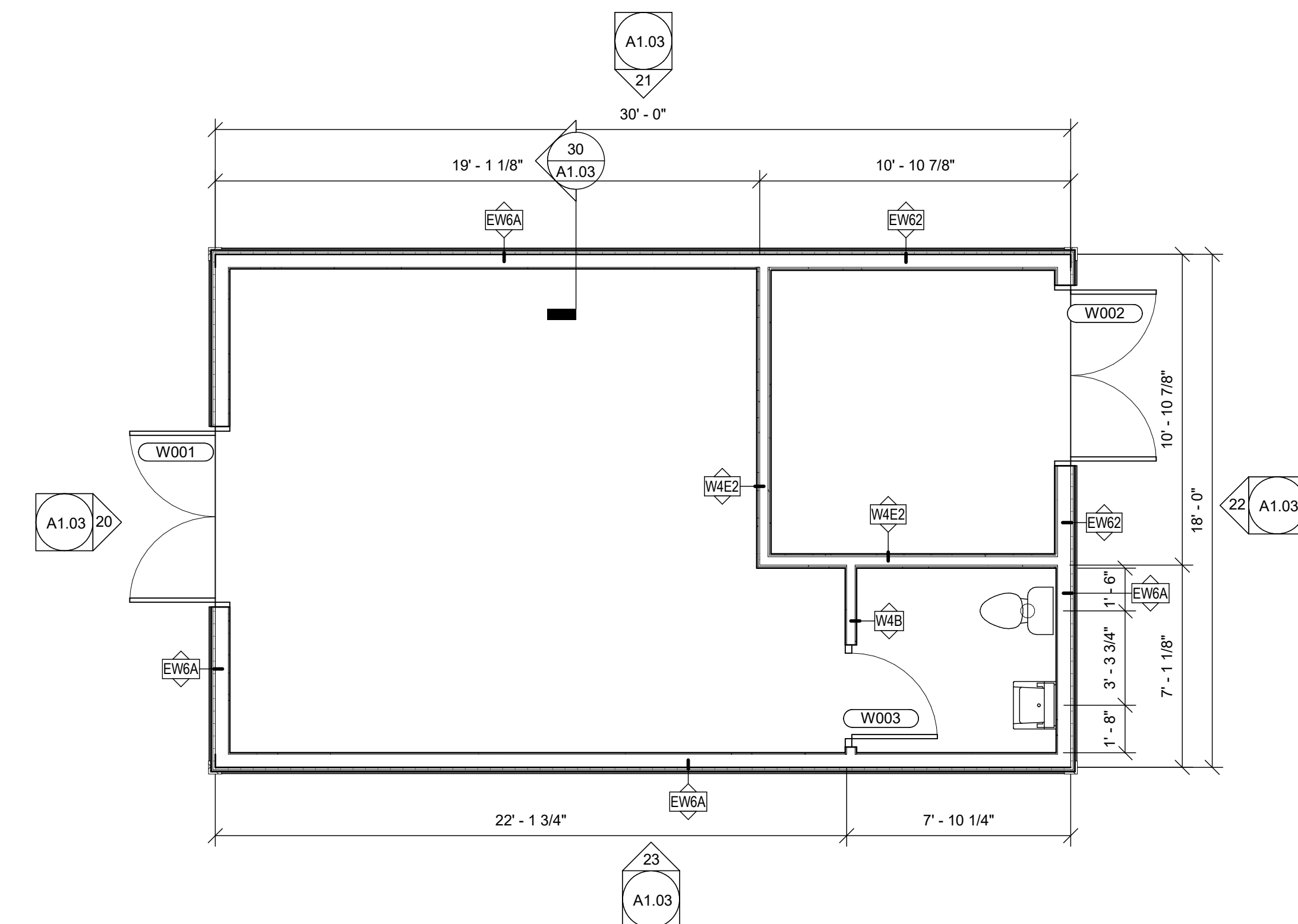
30 WWTP - TYPICAL WALL SECTION  
 Scale: 1/2" = 1'-0"



12 WWTP - ROOF PLAN  
 Scale: 1/4" = 1'-0"



11 REFLECTED CEILING PLAN - WWTP  
 Scale: 1/4" = 1'-0"



10 OVERALL WWTP PLAN  
 Scale: 1/4" = 1'-0"



Consultant:

Revision:

Architect of Record:

Drawn: JS

Checked: AS

Scale: 1/4" = 1'-0"

Key Plan:

Project Name:

**PLANTATION  
 APARTMENTS I & II**

Plantation II

Johnston Way  
 Stow, MA 01775

Sheet Name:

**ENLARGED UNIT PLANS**

Project Number:

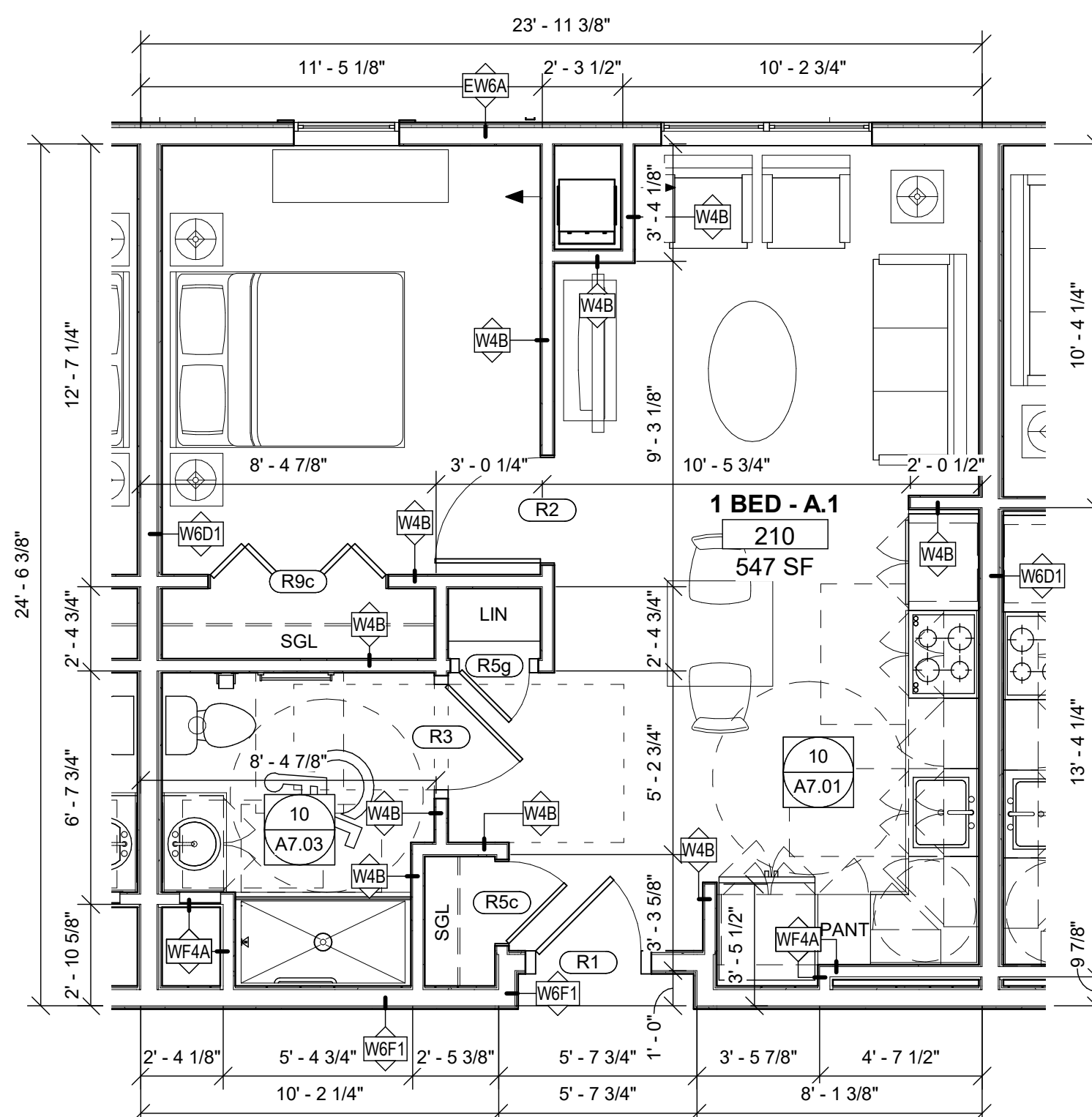
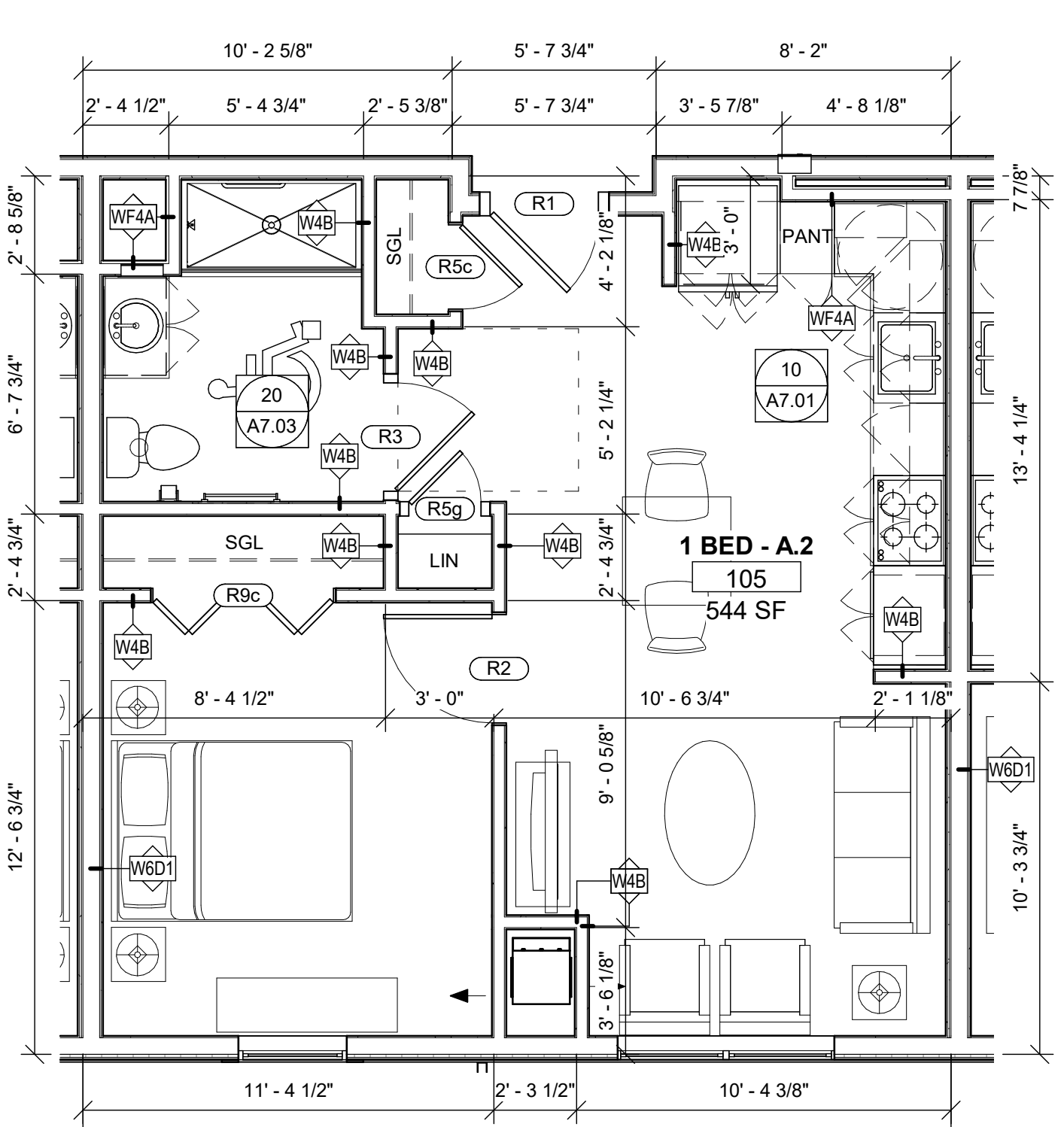
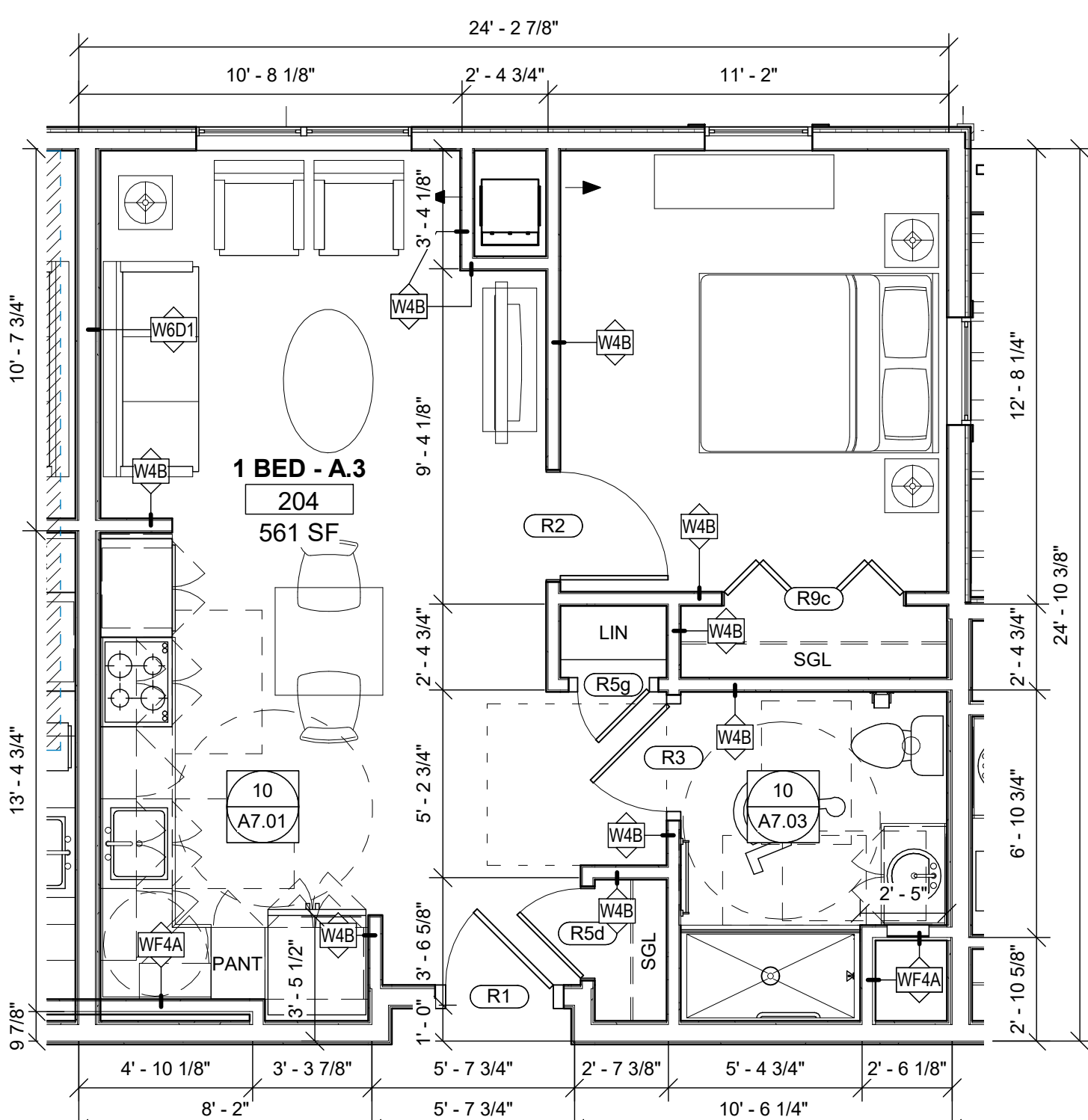
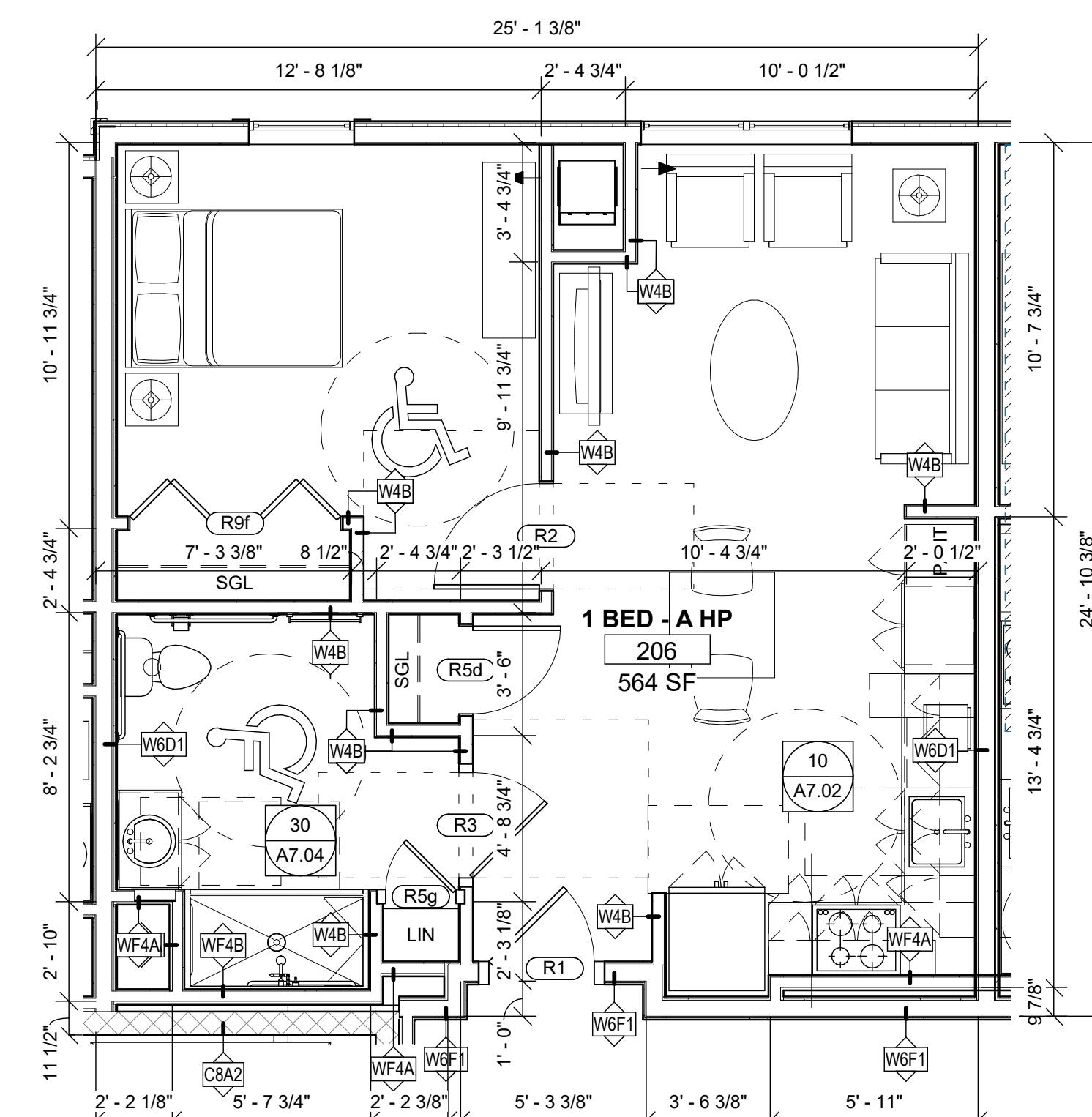
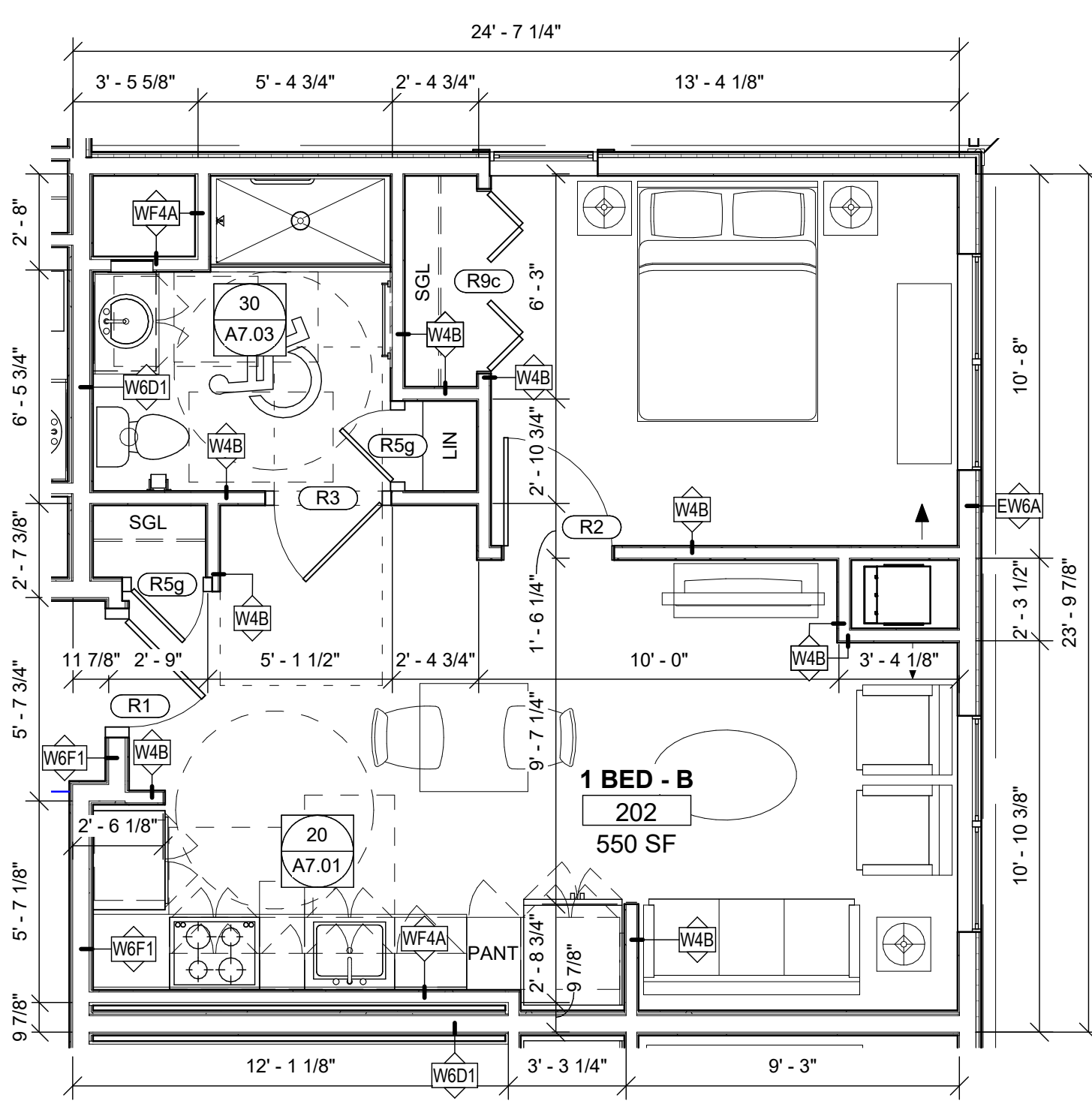
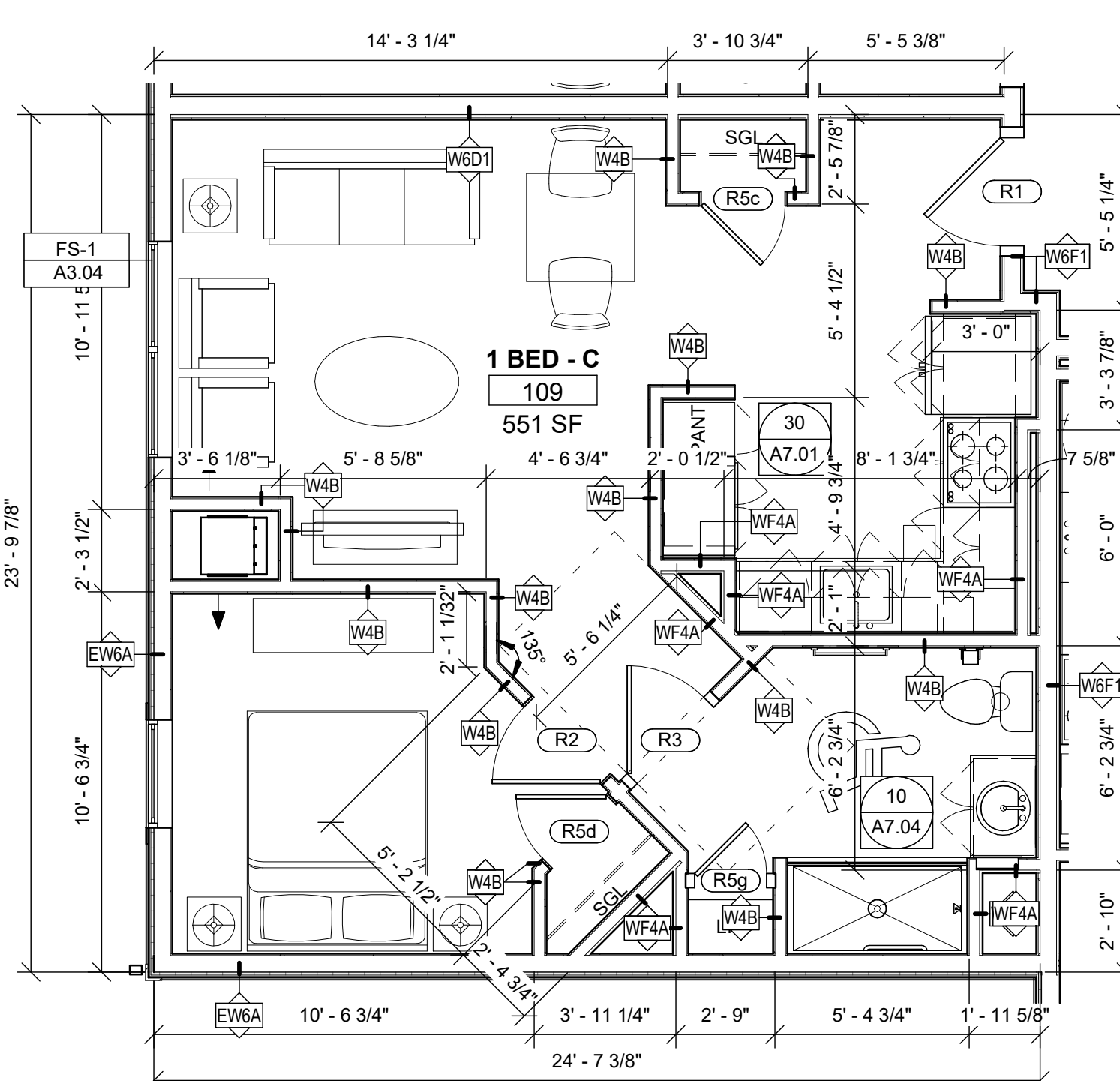
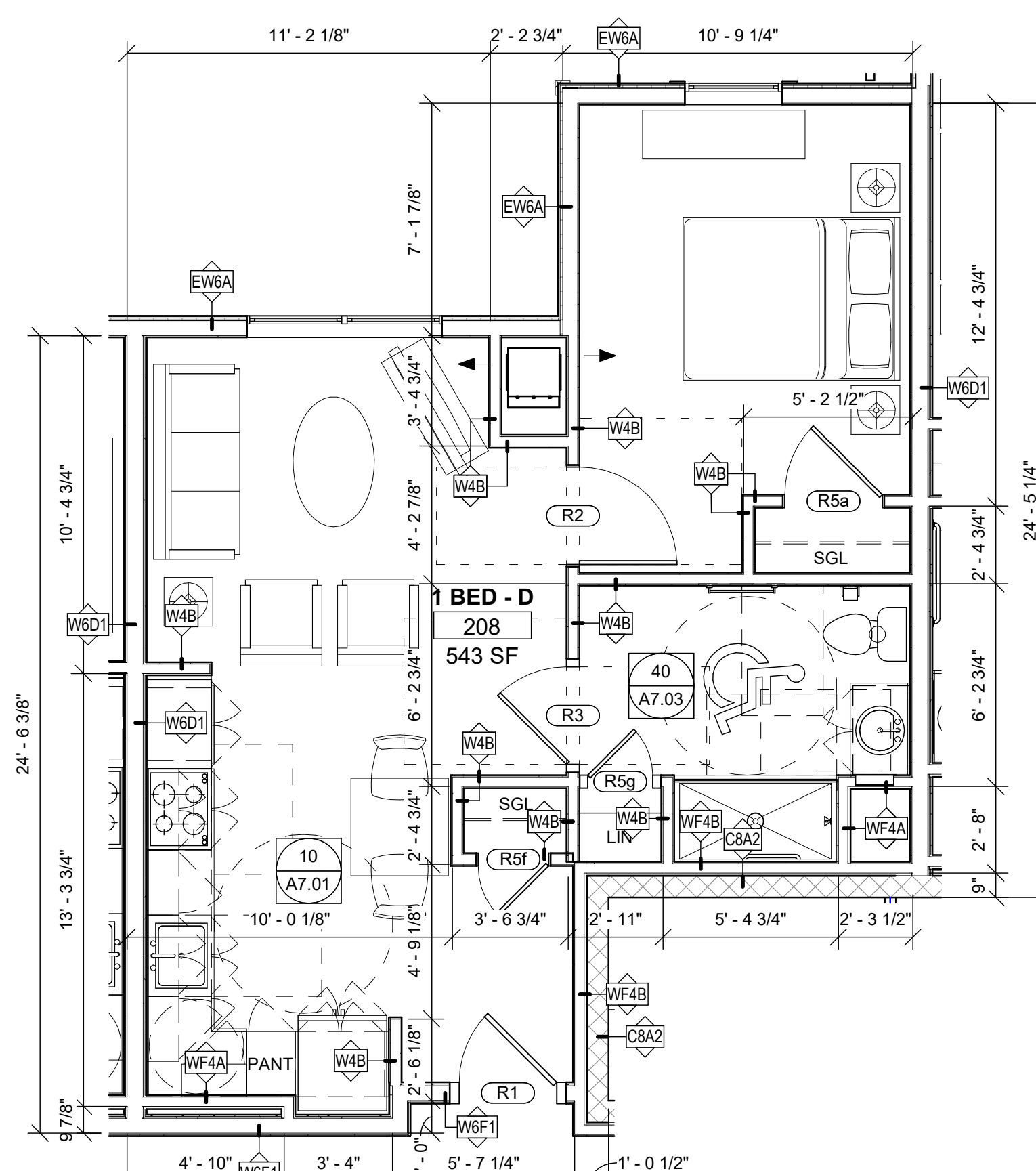
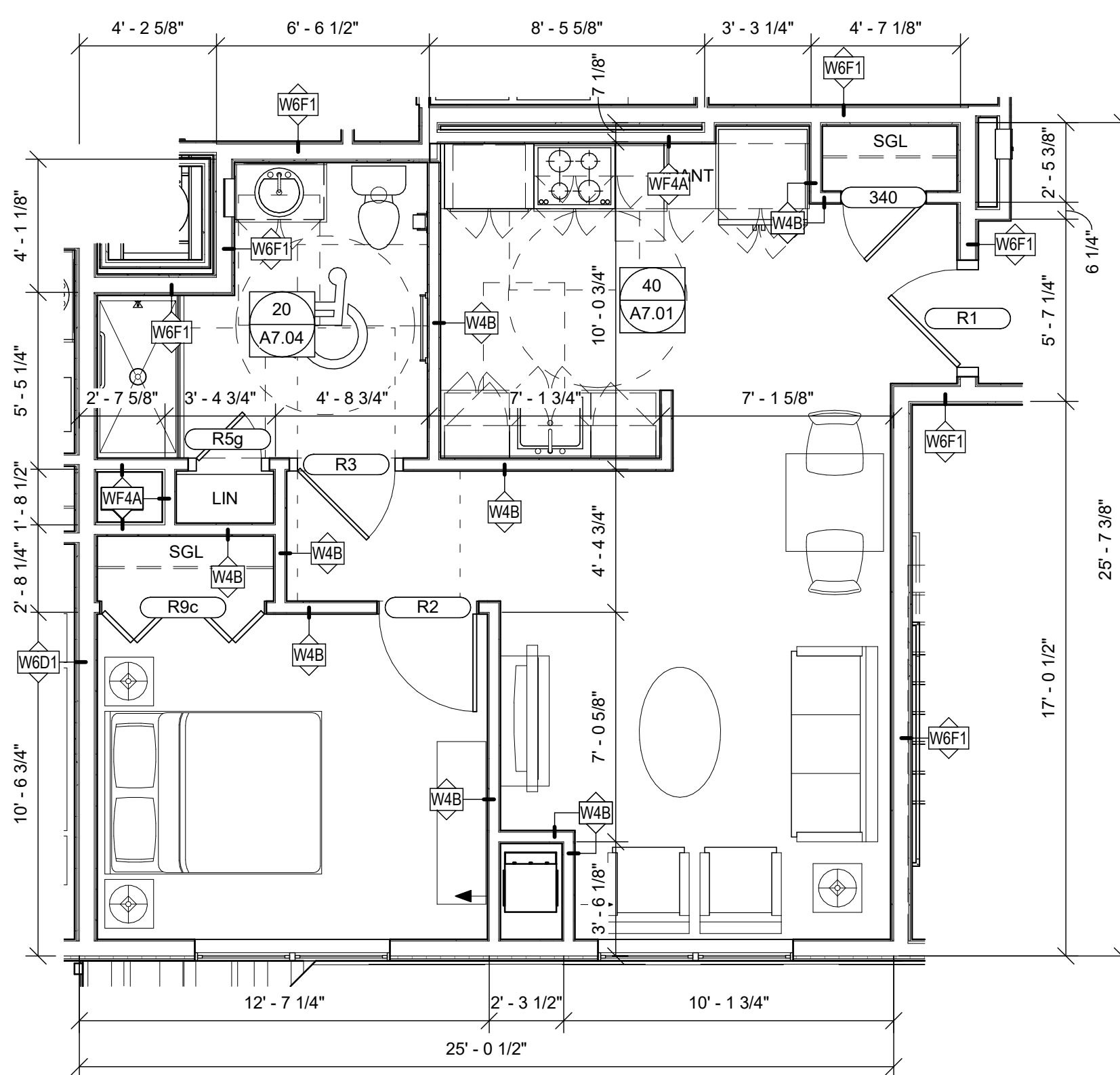
09152

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AUGUST 29, 2022

Sheet Number:

**A2.10**





KEYNOTE LEGEND - EXTERIOR ELEVATIONS

- EL01 WINDOW. REFER TO SCHEDULE AND SPECIFICATIONS
- EL02 DOOR. SEE SCHEDULE AND SPECIFICATIONS
- EL03A FIBER CEMENT LAP SIDING, JAMES HARDIE, COLOR #1
- EL03B FIBER CEMENT LAP SIDING, JAMES HARDIE, COLOR #2
- EL04A FIBER CEMENT 5/4x6 SMOOTH TRIM BOARD, JAMES HARDIE, COLOR
- EL04B FIBER CEMENT 5/4x8 SMOOTH TRIM BOARD, JAMES HARDIE, COLOR
- EL04C FIBER CEMENT 5/4x12 SMOOTH TRIM BOARD, JAMES HARDIE, COLOR
- EL04D FIBER CEMENT 5/4x6 SMOOTH CORNER BOARD, JAMES HARDIE, COLOR
- EL05 ASPHALT SHINGLE ROOFING SYSTEM WITH UNDERLAYMENT. SEE SPECS. REFER TO ROOF PLANS
- EL06 4X3 DOWNSPOUT AND 6" GUTTER
- EL07 EXTERIOR WALL SCONCE. REFER TO ELECTRICAL FOR SPECS.
- EL10 PVC COLUMN TRIM
- EL12



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Consultant:

Revision:

Architect of Record:

Drawn: JS

Checked: AS

Scale: 1/8" = 1'-0"

Key Plan:

Project Name:

**PLANTATION APARTMENTS I & II**

Plantation II

Johnston Way  
 Stow, MA 01775

Sheet Name:

**BUILDING ELEVATIONS**

Project Number:

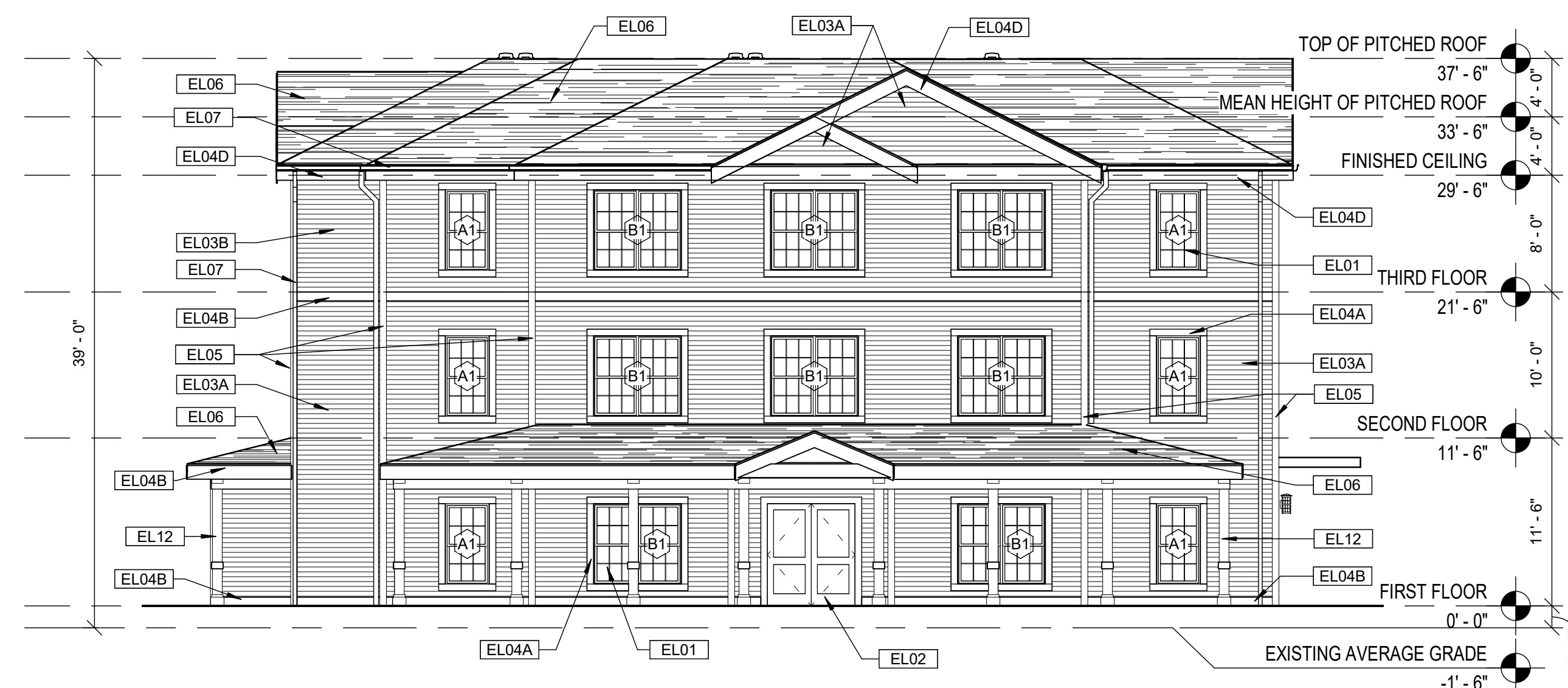
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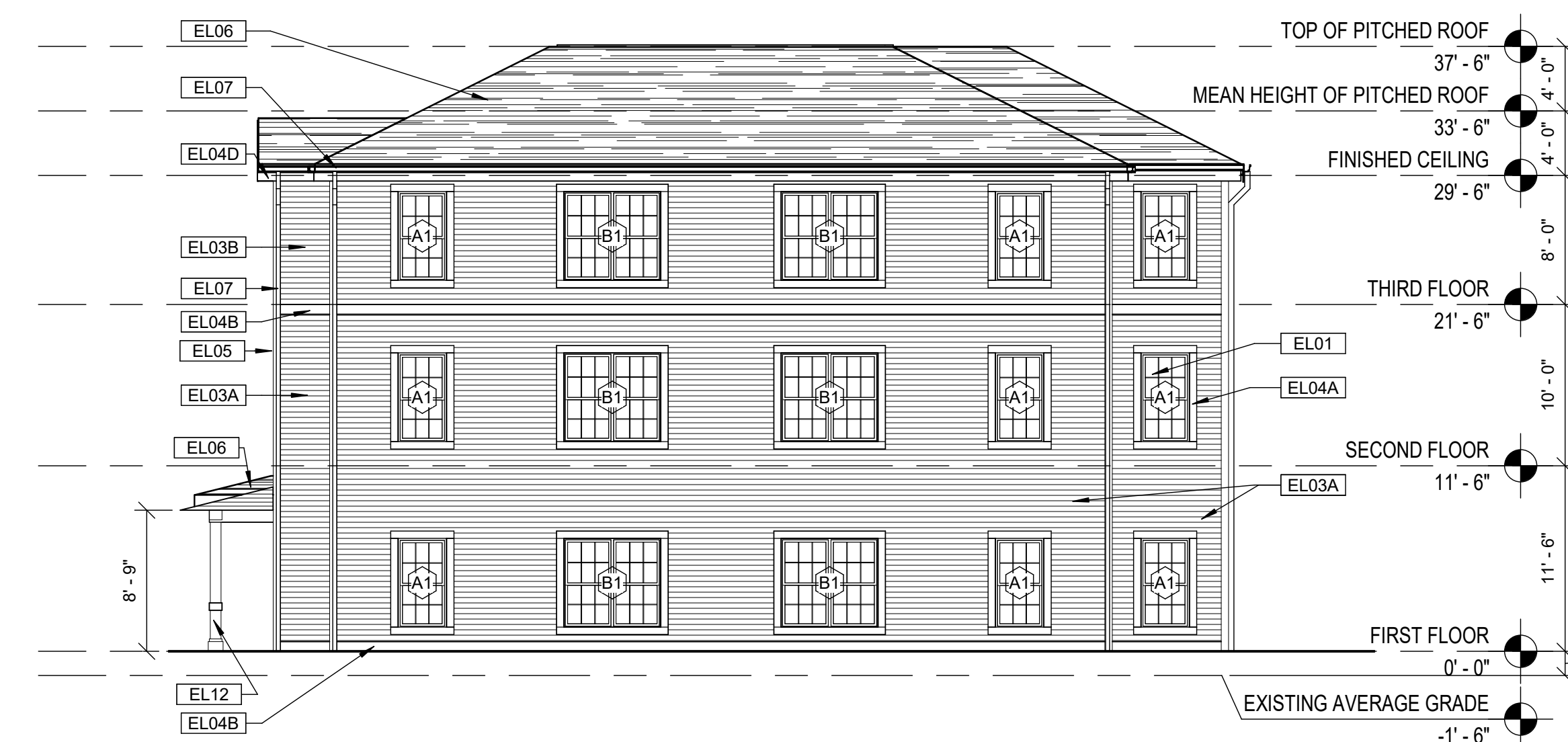
AUGUST 29, 2022

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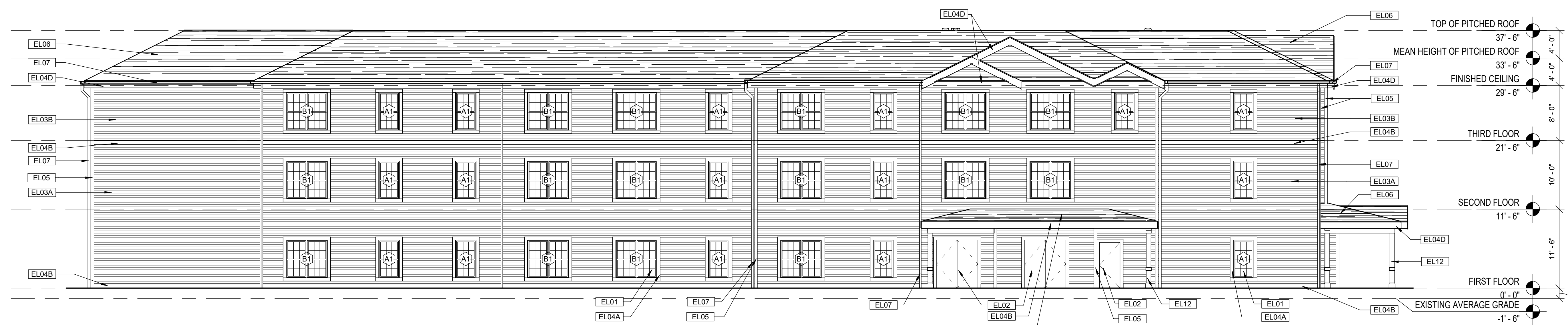
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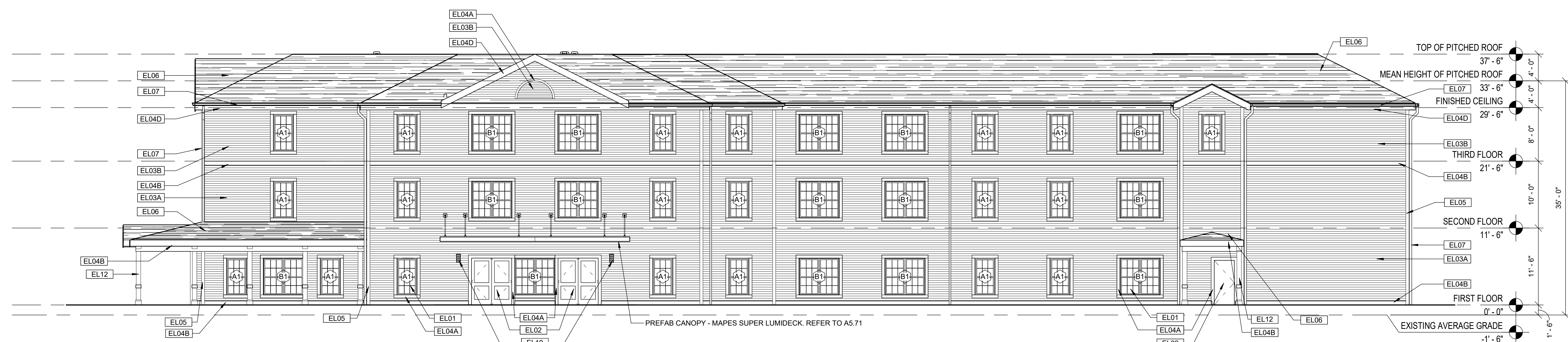
12 EAST ELEVATION  
 Scale: 1/8" = 1'-0"



13 WEST ELEVATION  
 Scale: 1/8" = 1'-0"



11 SOUTH ELEVATION  
 Scale: 1/8" = 1'-0"



10 NORTH ELEVATION  
 Scale: 1/8" = 1'-0"







Consultant:

Revision:

Architect of Record:

Drawn: JS

Checked: AS

Scale: 1/2" = 1'-0"

Key Plan:

Project Name:  
**PLANTATION APARTMENTS I & II**

Plantation II

Johnston Way  
 Stow, MA 01775

Sheet Name:

**TYPICAL WALL SECTIONS**

Project Number:

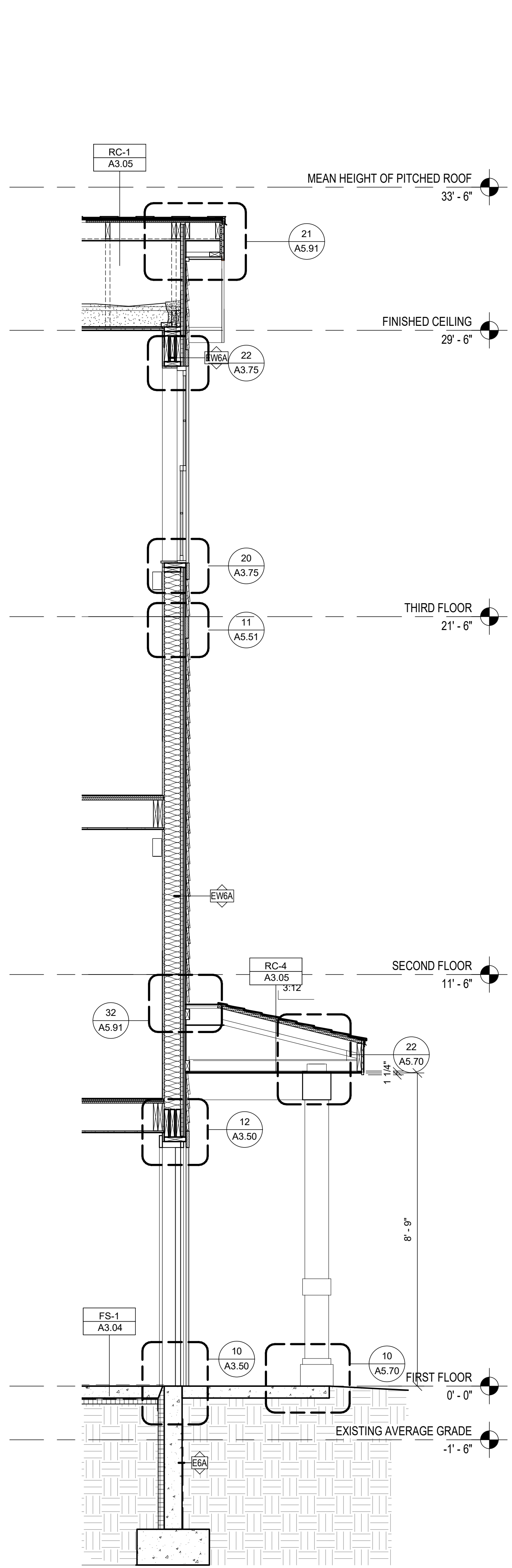
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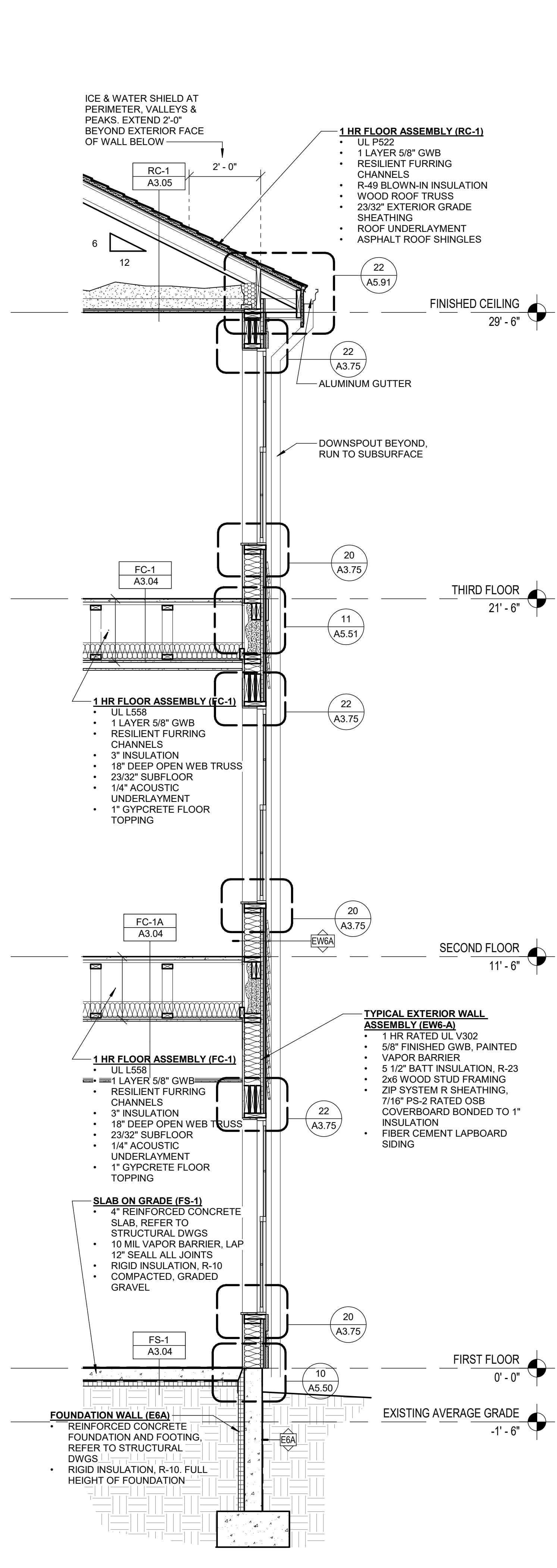
AUGUST 29, 2022

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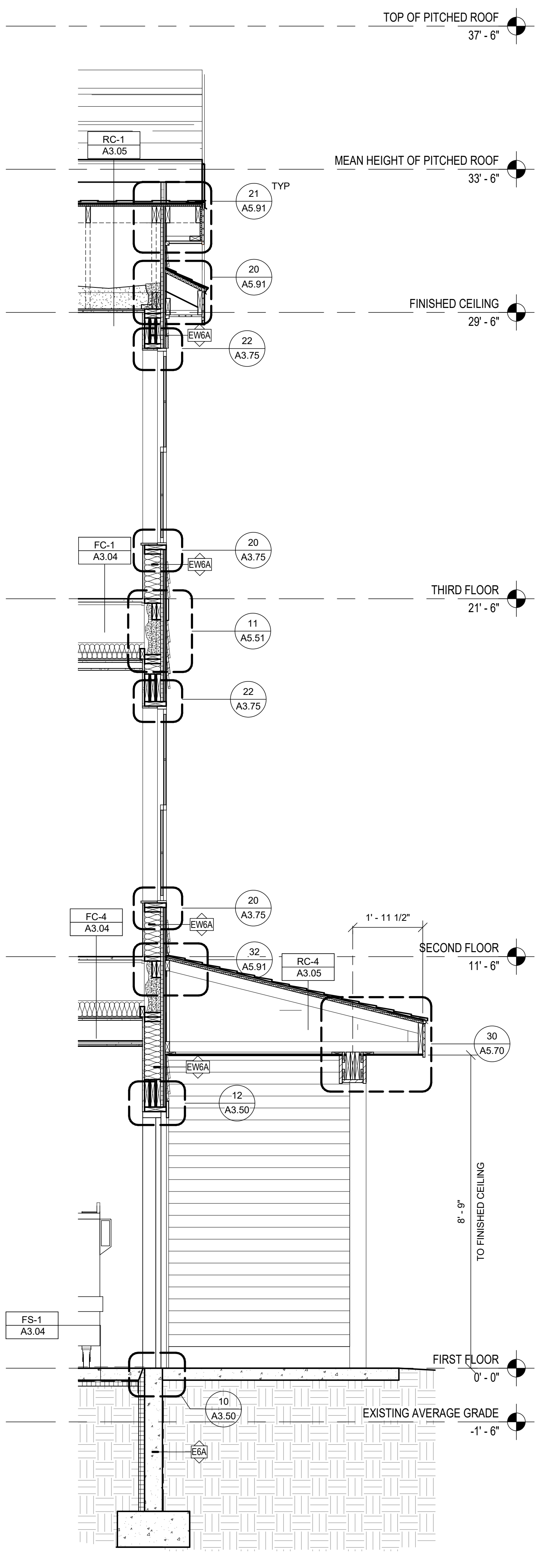
**A5.20**



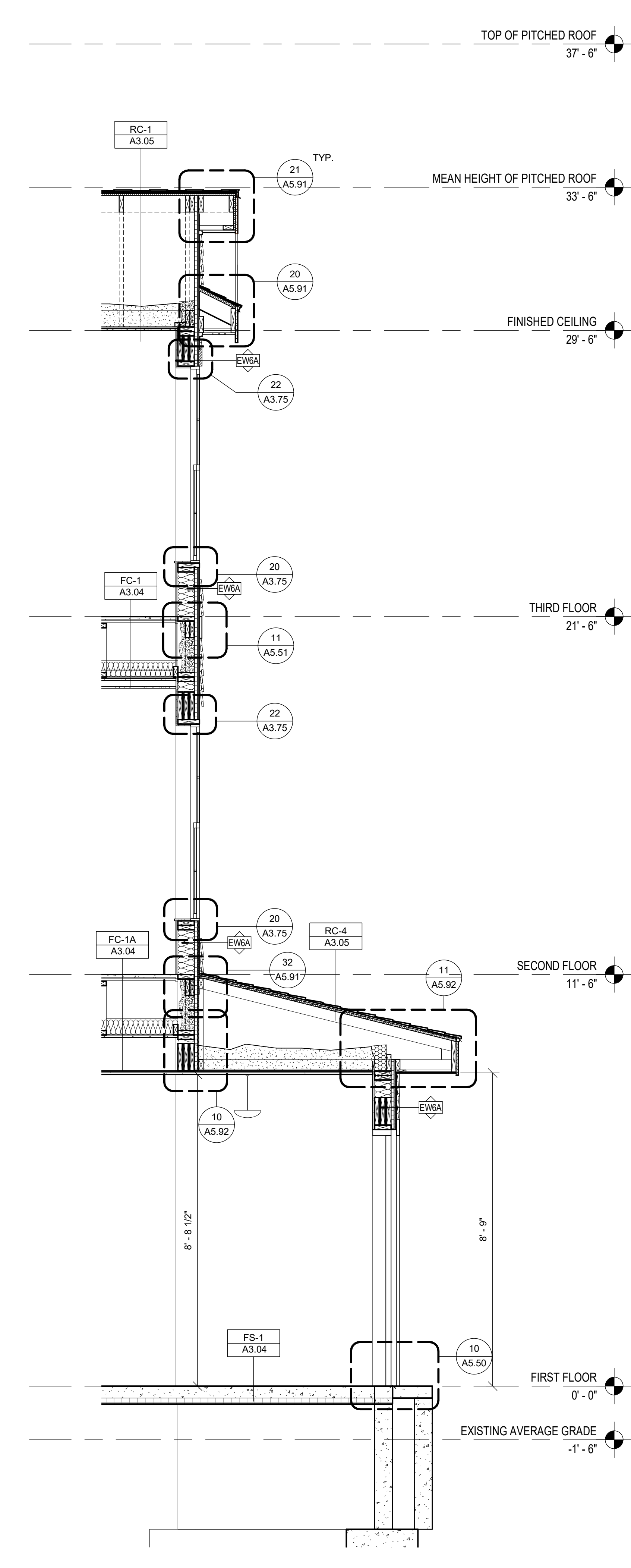
40 WALL SECTION - D  
 Scale: 1/2" = 1'-0"



30 WALL SECTION - C  
 Scale: 1/2" = 1'-0"



20 WALL SECTION - B  
 Scale: 1/2" = 1'-0"



10 WALL SECTION - A  
 Scale: 1/2" = 1'-0"



Consultant:

Revision:

Architect of Record:

Drawn: JS

Checked: AS

Scale: 1/2" = 1'-0"

Key Plan:

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**TYPICAL WALL SECTIONS**

Project Number:

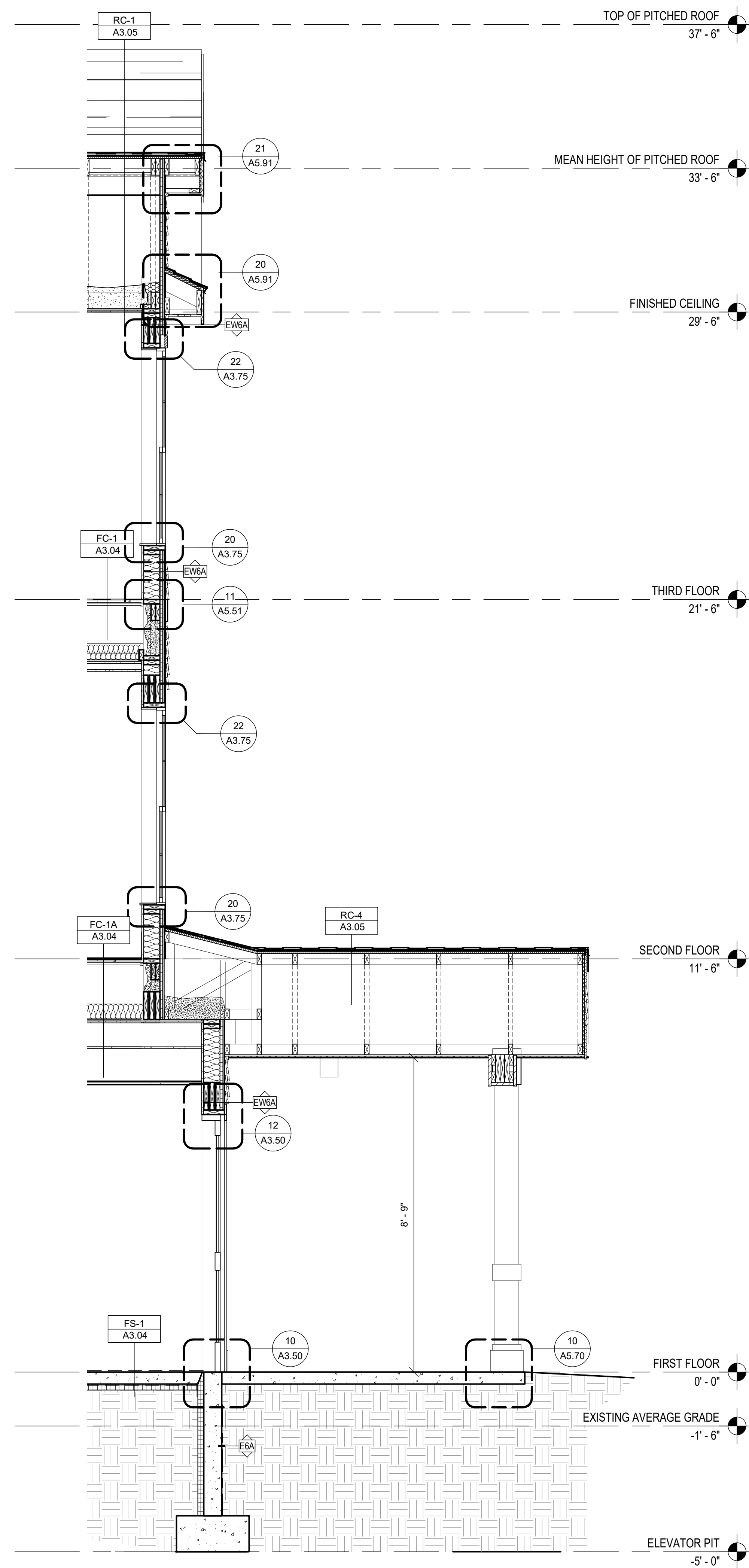
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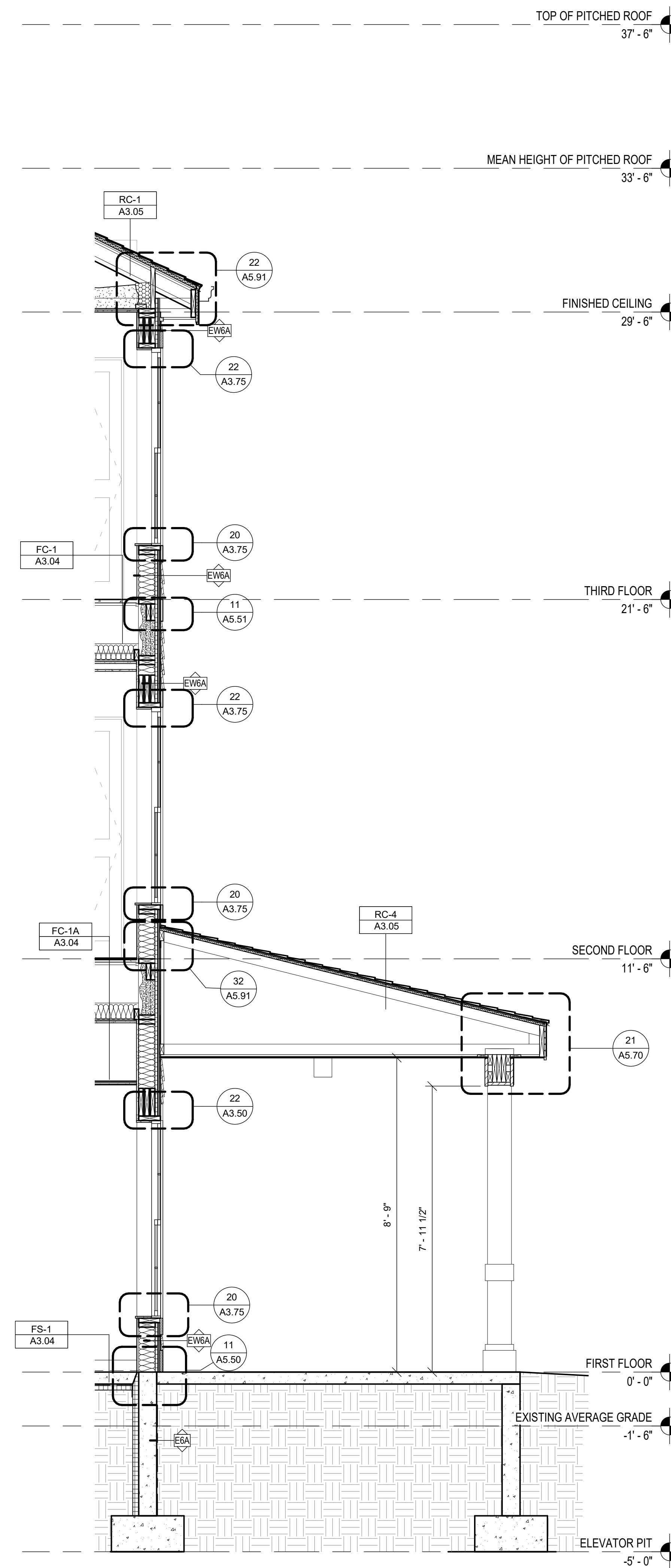
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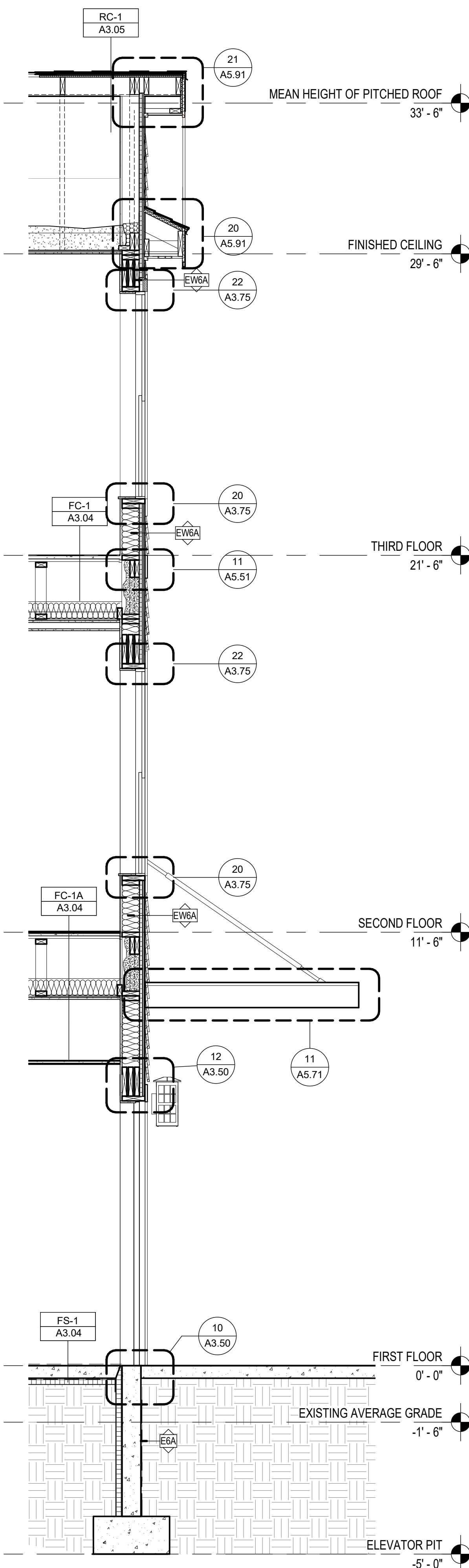
**A5.21**



30 WALL SECTION - G  
 Scale: 1/2" = 1'-0"



20 WALL SECTION - F  
 Scale: 1/2" = 1'-0"



10 WALL SECTION - E  
 Scale: 1/2" = 1'-0"



