

NO DEVIATION FROM THE CONTRACT PLANS AND SPECIFICATIONS CAN BE MADE UNTIL A REQUEST FOR CONSTRUCTION CHANGE, HUD FORM 92437 HAS BEEN SUBMITTED AND APPROVED.

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Bond	

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the architectural team

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SITE CONSTRUCTION PLAN

PLANTATION APARTMENTS II

TITLE SHEET

GENERAL NOTES:

1. TOPOGRAPHIC INFORMATION IS THE RESULT OF AN ON-THE-GROUND SURVEY PERFORMED BY FORESTE ENGINEERING AND SUPPLEMENTED BY DILLIS AND ROY CIVIL DESIGN GROUP, INC IN APRIL 2017 AND MAY 2021. ELEVATIONS REFER TO AN ASSUMED DATUM.
2. PROPERTY LINE INFORMATION SHOWN IS THE RESULT OF AN ON-THE-GROUND SURVEY PERFORMED BY DILLIS & ROY CIVIL DESIGN GROUP.
3. ANY DEVIATIONS FROM THE DESIGN PLAN MUST BE APPROVED IN WRITING BY DILLIS & ROY CIVIL DESIGN GROUP, INC.
4. THE CONTRACTOR SHOULD REFER TO THE ORDER OF CONDITIONS ISSUED BY THE STOW CONSERVATION COMMISSION (RECORDED IN BOOK 78062, PAGE 117 IN THE SOUTH MIDDLESEX REGISTRY OF DEEDS) PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
5. FEMA 100-YR FLOOD ZONE WAS DETERMINED FROM FLOOD INSURANCE RATE MAP NO. 25017C0361F EFFECTIVE JULY 7, 2014.
6. EXISTING UTILITIES SHOWN ON THIS PLAN WERE COMPILED FROM FIELD MEASUREMENT AND RECORD PLANS. THE UTILITIES SHOWN ON THIS PLAN ARE FOR REFERENCE ONLY AND SHOULD NOT BE ASSUMED TO BE CORRECT NOR SHOULD IT BE ASSUMED THAT THE UTILITIES SHOWN ARE THE ONLY UTILITIES LOCATED ON OR NEAR THE SITE. THE CONTRACTOR SHALL CALL DIG SAFE 1-888-DIG-SAFE PRIOR TO CONSTRUCTION IN ACCORDANCE WITH STATE LAWS.

LEGEND

EXIST. FEATURE	DESCRIPTION	EXIST. SYM.	DESCRIPTION
	STREAMS/RIVERS		LIGHT POLE
	WETLANDS		TELEPHONE POLE
	LIMIT OF BUFFER ZONE		GUY WIRE
	LEDGE		HYDRANT
	WELL RADIUS		SEWER MANHOLE
	WIRE FENCE		STORM WATER MANHOLE
	WOOD FENCE		WELL
	GUARD RAIL		MISCELLANEOUS MANHOLE
	CHAIN LINK FENCE		WETLAND FLAG
	STONE RETAINING WALL		CATCH BASIN
	STONE WALL		WATER GATE VALVE
	WATER LINE		ELECTRICAL METER
	ELECTRICAL LINE		TRAFFIC SIGNAL SWITCH
	STORM DRAIN		TRAKS
	EXISTING OVER-HEAD WIRES		FLAG POLE
	EXISTING CONTOUR (INDEX)		SHRUB
	EXISTING CONTOUR (INTERMEDIATE)		
	EXISTING BUILDING/HOUSE		
	TREE LINE		

PROP. FEATURE	DESCRIPTION	PROP. SYM.	DESCRIPTION
	REPLICATED WETLANDS		PROPOSED LIGHT POLE
	PROPERTY LINE		PROPOSED TELEPHONE POLE
	EASEMENT LINE		PROPOSED HYDRANT
	HAYBALES		PROPOSED SANITARY MANHOLE
	WIRE FENCE		PROPOSED STORM WATER MANHOLE
	WOOD FENCE		PROPOSED TELEPHONE MANHOLE
	CHAIN LINK FENCE		PROPOSED ELECTRICAL MANHOLE
	POURED CONCRETE RETAINING WALL		PROPOSED CATCH BASIN
	CONC. BLOCK RETAINING WALL		PROPOSED DOUBLE CATCH BASIN
	STONE RETAINING WALL		PROPOSED WATER GATE VALVE
	PROPOSED WATER LINE		PROPOSED ELECTRICAL TRANSFORMER
	PROPOSED ELECTRICAL LINE		PROPOSED ELECTRICAL JUNCTION BOX
	PROPOSED SANITARY SEWER		PROPOSED TRAFFIC SIGNAL SWITCH
	PROPOSED STORM DRAIN		PROPOSED SIGN
	PROPOSED ROOF DRAIN		BORING
	PROPOSED UNDER DRAIN		HANDICAPPED SPACE
	PROPOSED BACK CAPE COD BERM		PROPOSED FLARED END SECTION
	PROPOSED EDGE OF PAVEMENT		PROPOSED RRPRAP
	PROPOSED UNPAVED ROAD		STANDARD TREE
	PROPOSED CONTOUR (INDEX)		PINE TREE
	PROPOSED CONTOUR (INTERMEDIATE)		SHRUB
	PROPOSED SPOT ELEVATION		
	PROPOSED BUILDING/HOUSE		
	TREE LINE		



LOCUS MAP
SCALE: 1" = 500'

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C7.0	WASTEWATER PLAN	8/29/2022
C7.1	PUMP CHAMBER DETAILS	8/29/2022
C7.2	WASTEWATER DETAILS	8/29/2022

Consultant:

DILLIS & ROY
CIVIL DESIGN GROUP

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Revision:

DATE	EDITS PER COMMENTS
5/22/17	EDITS PER COMMENTS
8/8/17	FIRE CISTERN AND PATH WIDTH EDITS
4/27/18	UPDATED SITE LAYOUT
9/26/18	UPDATED SITE LAYOUT
10/26/18	REV. PER TOWN COMMENTS
11/14/18	REV. PER FIRE DEPT.
8/10/21	REV. PER NEW WELL LAYOUT
1/13/22	DESIGN DEVELOPMENT
8/29/22	ISSUED FOR CONSTRUCTION

Architect of Record: The Architectural Team

Drawn: RWP

Checked: GSR

Scale: N/A

Key Plan:

Project Name:

PLANTATION APARTMENTS I & II
Plantation II

Johnston Way
Stow, Ma 01775

Sheet Name:

TITLE SHEET

Project Number:

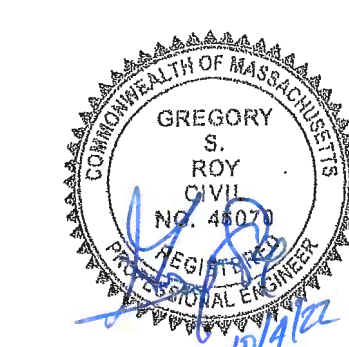
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Issue Date:

August 29, 2022

Sheet Number:

C1.0



ABBREVIATIONS

ABB.	DESCRIPTION
AIM	ATMOSPHERIC TANK
UD	UNDERDRAIN
FD	FOUNDATION DRAIN
P.S.	PUMP SERVICE
DWM	DOMESTIC WATER SERVICE
W.B.O.	WATER BLOW OFF
DMH	DRAIN MANHOLE
SMH	SEWER MANHOLE
ST	SEPTIC TANK
PC	PUMP CHAMBER
DPI	DRAIN PIPE ID
SPI	SEWER PIPE ID
DB	DISTRIBUTION BOX
SC	STORMCEPTOR CATCH BASIN
GAL	GALLOW
TOP	TOP OF FOUNDATION
EL.	ELEVATION
INRY	INVERT
WSD	WATER SHUTOFF
BCOB	BUTTMANDED CAPE COD BERM
R.C.	RETAINING WALL
C.O.	CLEAN OUT
WOP.T.	INSPECTION PORT

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Stow, Ma 01775

Sheet Name:

EXISTING CONDITIONS

Project Number:

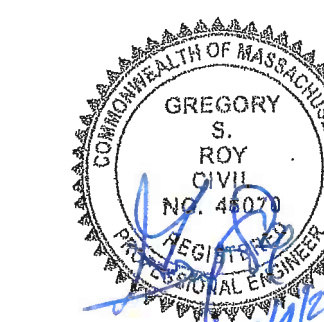
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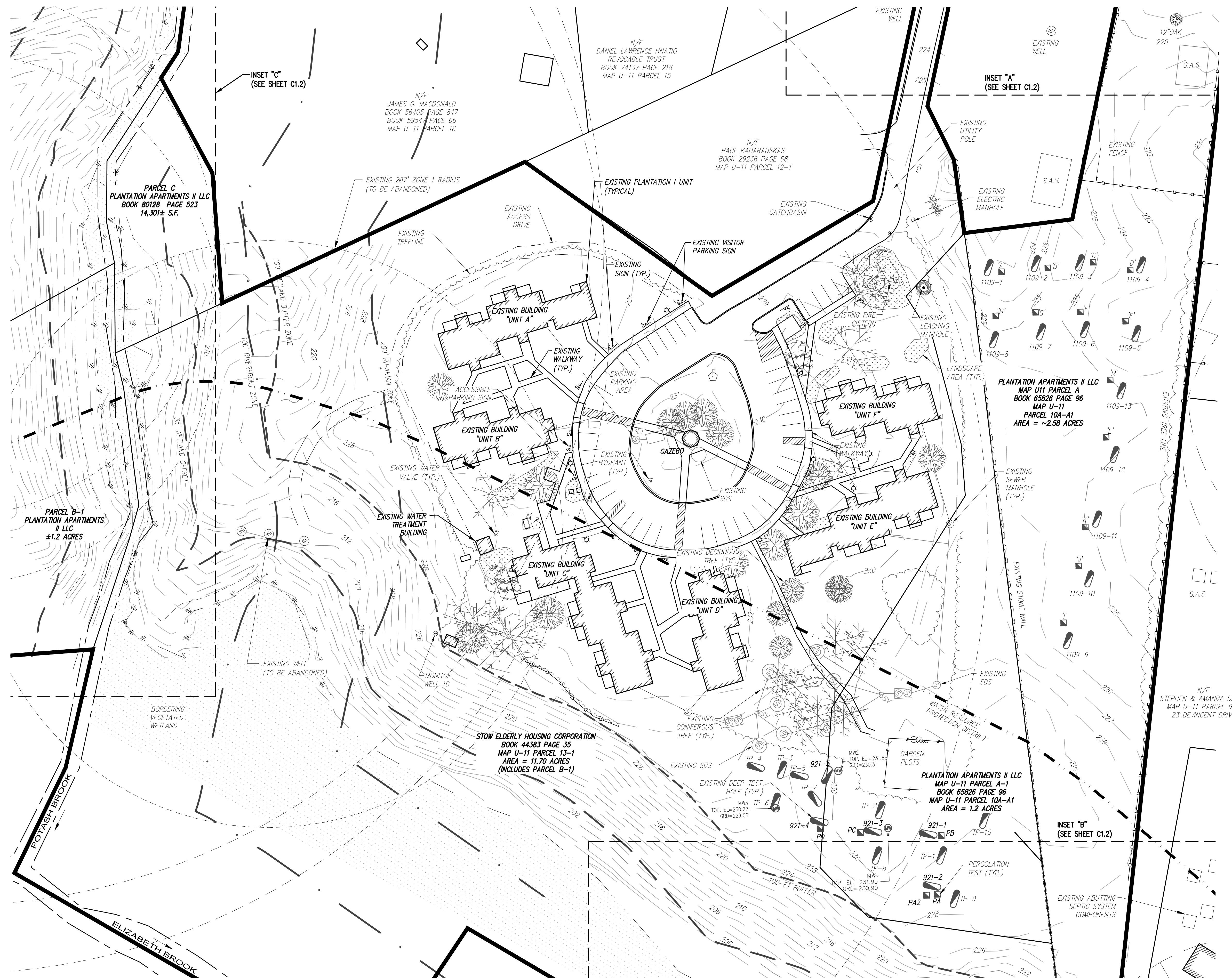
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Architect of Record: The Architectural Team

Drawn: RWP

Checked: GSR

Scale: 1"=30'

Key Plan:

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PLANTATION APARTMENTS I & II
Plantation II

Johnston Way
Stow, Ma 01775

Sheet Name:

LAYOUT PLAN

Project Number:

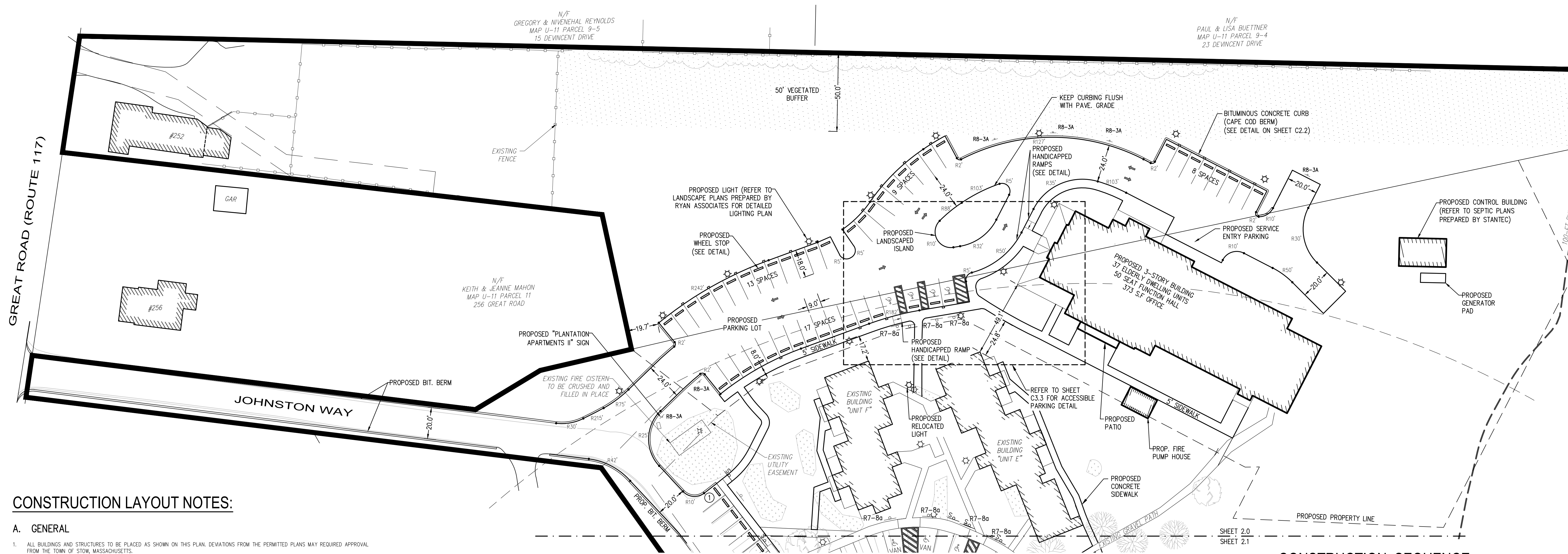
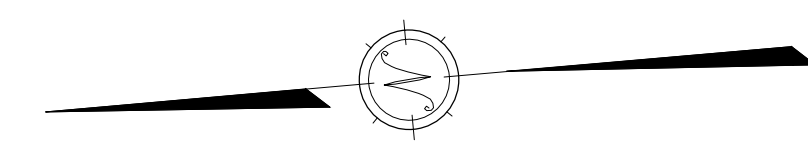
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Issue Date:

August 29, 2022

Sheet Number:

C2.0



CONSTRUCTION LAYOUT NOTES:

A. GENERAL

1. ALL BUILDINGS AND STRUCTURES TO BE PLACED AS SHOWN ON THIS PLAN. DEVIATIONS FROM THE PERMITTED PLANS MAY REQUIRE APPROVAL FROM THE TOWN OF STOW, MASSACHUSETTS.
2. CONTRACTOR TO NOTIFY ENGINEER FOR ALL CONSTRUCTION STAKING REQUESTS A MINIMUM OF 72 HOURS AHEAD OF SCHEDULE.
3. SEE SHEET C3.3 FOR GRADING & DRAINAGE AND SHEET C4.0 FOR PROPOSED UTILITY PLACEMENT.
4. CONTRACTOR SHALL CALL 1-888-DIG-SAFE IN ACCORDANCE WITH STATE LAWS PRIOR TO CONSTRUCTION.
5. CONTRACTOR SHALL REFER TO THE ORDER OF CONDITIONS ISSUED BY THE STOW CONSERVATION COMMISSION (RECORDED IN BOOK 78062, PAGE 117 IN THE SOUTH MIDDLESEX REGISTRY OF DEEDS).
6. THIS PROJECT AS PROPOSED WILL ALTER MORE THAN 1 ACRE OF AREA. AS SUCH A NOTICE OF INTENT WILL NEED TO BE PREPARED AND FILED WITH THE ENVIRONMENTAL PROTECTION AGENCY PRIOR TO BEGINNING CONSTRUCTION (BY CONTRACTOR).
7. THE SITE IS NOT WITHIN AN ESTIMATED HAZARD OF RARE OR ENDANGERED SPECIES AS DEFINED BY THE NATIONAL HERITAGE AND ENDANGERED SPECIES PROGRAM 2008 MAP.
8. CONTRACTOR SHALL PLACE ALL EROSION CONTROL BARRIERS PRIOR TO CONSTRUCTION AS SHOWN ON SHEET C5.0.
9. CONTRACTOR SHALL NOTIFY THE TOWN OF STOW IN WRITING OF INTENT TO BEGIN CONSTRUCTION ACTIVITIES AT LEAST 5 BUSINESS DAYS BEFORE COMMENCING CONSTRUCTION ACTIVITY ON SITE AND RETAIN PROOF OF RECEIPT OF SUCH NOTICE FROM THE TOWN CLERK.

B. MATERIALS

1. ASPHALT
- 1.1. ASPHALT TO CONFORM TO MASSDOT SECTION M311.03
- 1.2. PAVEMENT TO BE 1 1/2" WEARING COURSE (TABLE B) OVER 2" BINDER COURSE (TABLE A).
- 1.3. REFER TO TYPICAL PAVEMENT CROSS SECTION DETAIL ON SHEET C3.2.
2. SIDEWALK
- 2.1. SIDEWALKS SHALL BE CONSTRUCTED OF ASPHALT CONFORMING TO MASSDOT SECTION M311.03
- 2.2. PAVEMENT SHALL BE 4" IN DEPTH.
- 2.3. REFER TO DETAIL ON SHEET C2.2 FOR SIDEWALK DETAIL.
3. BITUMINOUS BERM
- 3.1. BITUMINOUS BERM SHALL BE CAPE COD BERM. REFER TO DETAIL ON SHEET C2.2 FOR ADDITIONAL INFORMATION.
4. PRECAST CONC. BERM
- 4.1. CONC. BERM ADJACENT TO SIDEWALK AREAS SHALL BE VERTICAL TYPE. REFER TO DETAIL ON SHEET C2.2 FOR ADDITIONAL INFORMATION.
5. STRIPING
- 5.1. PARKING STRIPES SHALL BE 4-INCHES IN WIDTH.
- 5.2. PARKING SPACES SHALL BE 9' WIDE X 18' DEEP AND SHALL BE MEASURED FROM CENTER OF STRIP TO CENTER OF STRIP.
6. ACCESSIBLE RAMPS
- 6.1. ACCESSIBLE RAMPS SHALL BE INSTALLED IN ACCORDANCE WITH MASSACHUSETTS ARCHITECTURAL ACCESS BOARD AND AMERICAN DISABILITIES ACT LAWS AND REGULATIONS
- 6.2. REFER TO THE ACCESSIBLE RAMP DETAIL ON SHEET C2.2.
7. SIGN POSTS & SIGNS
- 7.1. REFER TO THE SIGN SCHEDULE ON THIS SHEET AND THE DETAILS ON SHEET C2.2 FOR ADDITIONAL INFORMATION.
8. ELECTRIC CAR CHARGER PADS
- 8.1. ELECTRIC CAR CHARGING STATIONS SHALL CONSIST OF A 1' X 2' CONCRETE PAD BEHIND THE CURB.
- 8.2. REFER TO SHEET C4.3 FOR DETAILS AND SPECIFICATIONS.
9. BOLLARDS
- 9.1. BOLLARDS SHALL BE 4- FEET HIGH AND CONSTRUCTED OF STEEL
- 9.2. BOLLARDS SHALL BE INSTALLED WITH A PLASTIC SLEEVE (COLOR TO BE DETERMINED BY PROPERTY OWNER)
- 9.3. REFER TO DETAIL ON SHEET C2.2
10. WHEEL STOPS
- 10.1. WHEEL STOPS SHALL BE INSTALLED IN ALL PROPOSED AND EXISTING PARKING SPACES
- 10.2. REFER TO THE WHEEL STOP DETAIL ON SHEET C2.2.

PROPOSED SIGN SCHEDULE

ALL PARKING SIGNS SHALL BE INSTALLED IN THE LOCATIONS SHOWN ON THE SITE PLANS AND PER THE DETAILS ON SHEET C2.2.

MUTCD SIGN CODE	SIGN TYPE
R8-3A	"NO PARKING ANY TIME"
R7-8A	"RESERVED PARKING"

PLANTATION II PARKING TABLE

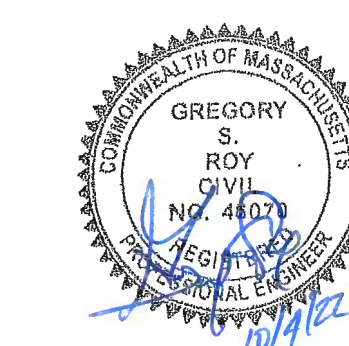
ALL PARKING SPACES ARE REQUIRED BE AT LEAST 9' WIDE X 18' DEEP PER THE STOW STANDARD PARKING DIMENSIONAL REGULATIONS.

USE CATEGORY	PROPOSED SPACES
HANDICAPPED	4 SPACES (2 VAN)
PLANTATION II TOTAL	47 SPACES

CONSTRUCTION SEQUENCE:

CONTRACTOR TO ADJUST CONSTRUCTION SEQUENCE, AS APPROVED BY OWNER, AS REQUIRED FOR CONSTRUCTION.

1. INSTALL EROSION CONTROL BARRIERS AS SHOWN ON SHEET C5.0 AND PER THE ORDER OF CONDITIONS ISSUED BY THE STOW CONSERVATION COMMISSION (RECORDED IN BOOK 78062, PAGE 117 AT THE SOUTH MIDDLESEX REGISTRY OF DEEDS).
2. SCHEDULE AND CONDUCT PRE-CONSTRUCTION MEETING WITH SITE ENGINEER, ARCHITECT, GENERAL CONTRACTOR, SITE CONTRACTOR AND STOW CONSERVATION COMMISSION.
3. CLEAR AND GRUB PROPOSED LIMITS OF CLEARING, REMOVE STUMPS AND VEGETATION FROM SITE.
4. CONSTRUCT CRUSHED STONE CONSTRUCTION ZONE ENTRANCE (SEE SHEET C5.0 FOR LOCATION).
5. STRIP AND STOCKPILE LOAM, COVER WITH SUITABLE TARP.
6. ROUGH GRADE ACCESS DRIVEWAY AND PARKING AREAS.
7. EXCAVATE, CONSTRUCT AND BACKFILL BUILDING FOUNDATION.
8. INSTALL WATER, GAS, ELECTRIC, TELEPHONE AND CABLE UTILITIES TO BUILDING.
9. COMMENCE BUILDING CONSTRUCTION.
10. INSTALL STORM DRAINAGE STARTING AT INFILTRATION BASIN AND WORKING UPGRADIENT TO CATCH BASIN. INSTALL TEMPORARY CONSTRUCTION FENCE AROUND INFILTRATION BASIN TO KEEP HEAVY TRUCKS AND EQUIPMENT OFF DURING CONSTRUCTION.
11. RAISE CATCH BASIN GRATE TO BINDER GRADE AND INSTALL SILT SACKS IN BASIN AND SURROUND CATCH BASIN WITH HAYBALES.
12. INSTALL WASTEWATER SYSTEM LEACHING BED, LATERALS AND MANFOLDS.
13. BACKFILL AND COMPACT WASTEWATER SYSTEM LEACHING AREA IN ACCORDANCE WITH THE COMPACTION REQUIREMENTS OF THE SYSTEM DESIGN.
14. INSTALL SEPTIC TANK, DOSING CHAMBER, PUMPS, ETC. CONTACT DESIGN ENGINEER TO CONDUCT REQUIRED TESTS ON THE SYSTEM.
15. COMPLETE GRADING AND COMPACTION OF AREAS TO BE PAVED.
16. INSTALL BINDER COURSE OF PAVEMENT AND INSTALL CAPE COD BERMS.
17. COMPLETE BUILDING CONSTRUCTION.
18. INSTALL CONCRETE CURBING AND SIDEWALKS.
19. LOAM AND SEED ALL DISTURBED AREAS. COMPLETE SITE LANDSCAPING.
20. CLEAN CATCH BASIN SUMP OF SEDIMENT AND DEBRIS AND THOROUGHLY SWEEP BINDER COURSE OF PAVEMENT.
21. FOLLOWING COMPLETION OF ALL CONSTRUCTION ACTIVITIES, INSTALL FINISH COURSE OF PAVEMENT.
22. INSTALL WHEEL STOPS.
23. PLACE THERMOPLASTIC PAVEMENT MARKINGS FOR PARKING SPACES AND HANDICAP ACCESSIBLE PARKING SPACES.
24. UPON COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ADEQUATE STABILIZATION OF DISTURBED AREAS OF THE SITE WITH VEGETATION OR OTHER SUITABLE GROUND COVER, REMOVE AND DISPOSE OF OFF SITE ALL EROSION CONTROL BARRIER MATERIALS.



ISSUED FOR CONSTRUCTION

PLANTATION I MATERIAL NOTES

1. DUMPSTER PAD
 - 1.1. DUMPSTER PAD SHALL BE CONSTRUCTED WITH 6" CONCRETE REINFORCED WITH #4 REBAR @ 12" ON CENTER IN BOTH DIRECTIONS.
2. VINYL FENCE
 - 2.1. VINYL FENCE SHALL BE 6- FEET IN HEIGHT
 - 2.2. POSTS SHALL BE 4" SQUARE
 - 2.3. REFER TO DETAIL ON SHEET C2.2
3. STRIPING
 - 3.1. PARKING STRIPS SHALL BE 4-INCHES IN WIDTH
 - 3.2. PARKING SPACES SHALL BE 9' WIDE X 18' DEEP AND SHALL BE MEASURED FROM CENTER OF STRIP TO CENTER OF STRIP.
4. WALKWAYS
 - 4.1. PROPOSED 4'-WIDE CONCRETE WALKWAYS SHALL BE INSTALLED AS SHOWN ON THE SITE PLAN
 - 4.2. REFER TO SIDEWALK DETAIL ON SHEET C2.2
5. COMMUNITY GARDEN BEDS
 - 5.1. THE COMMUNITY GARDEN BEDS SHALL BE CONSTRUCTED WITH PRESSURE TREATED TIMBERS
 - 5.2. REFER TO COMMUNITY GARDEN DETAIL ON SHEET C2.2.
6. SHED
 - 6.1. PROPOSED CONCRETE WALKWAYS SHALL BE INSTALLED AS SHOWN ON THE SITE PLAN
 - 6.2. REFER TO SIDEWALK DETAIL ON SHEET C2.2

PLANTATION I PARKING TABLE

ALL PARKING SPACES ARE REQUIRED BE AT LEAST 9' WIDE x 18' DEEP PER THE STOW STANDARD PARKING DIMENSIONAL REGULATIONS.

USE CATEGORY	EXISTING SPACES	PROPOSED SPACES
ACCESSIBLE:	10 SPACES	10 SPACES (6 VAN)
TRADITIONAL:	35 SPACES	42 SPACES
PLANTATION I TOTAL:	45 SPACES	52 SPACES

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Drawn: RWP

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Scale: 1"=30'

Key Plan:

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 Plantation I

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Sheet Name:

LAYOUT DETAILS

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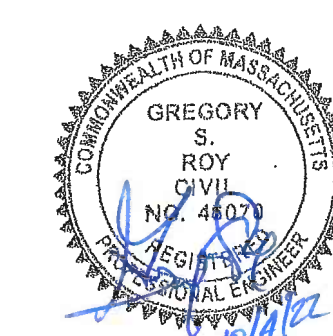
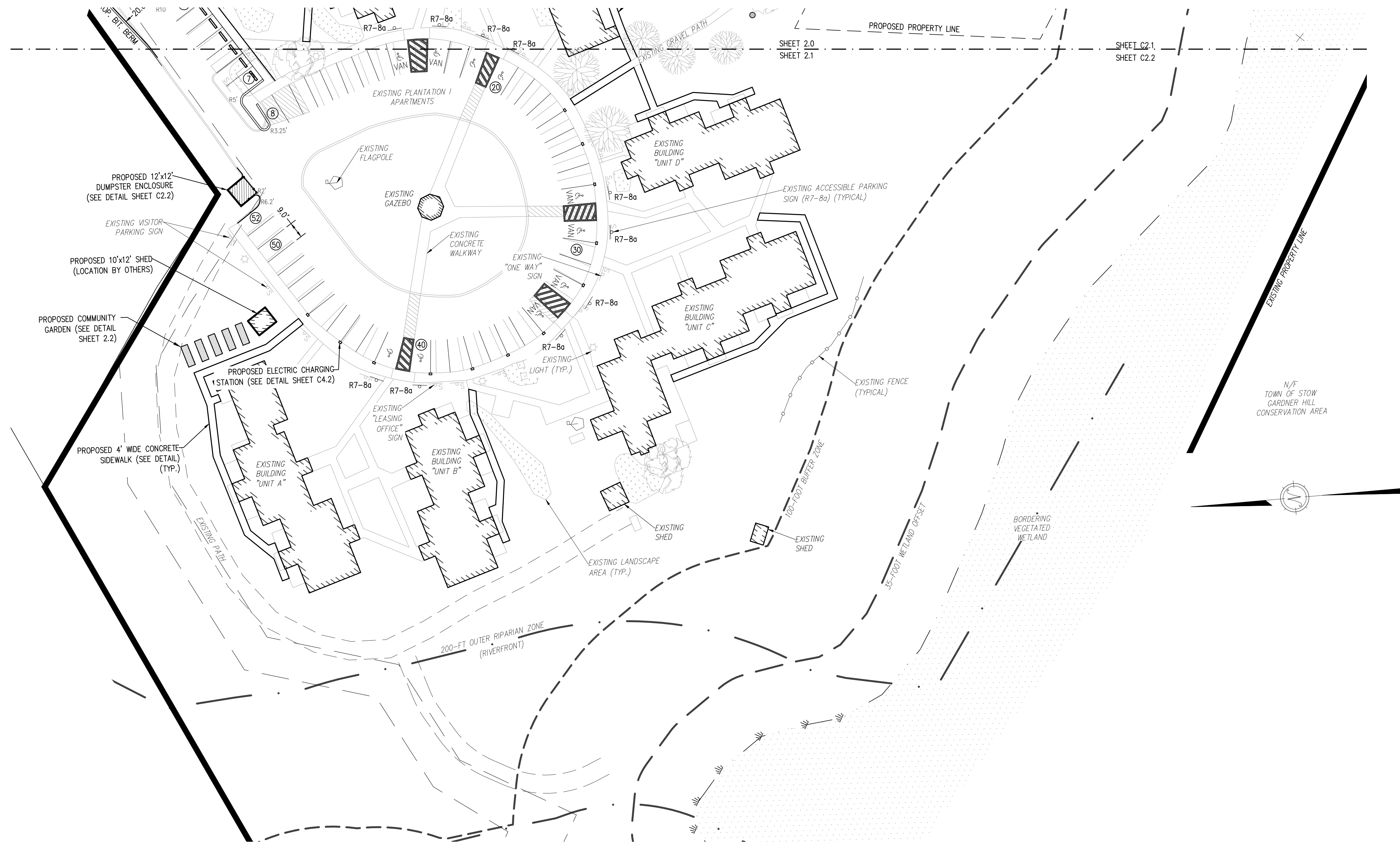
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GRADING & DRAINAGE PLAN

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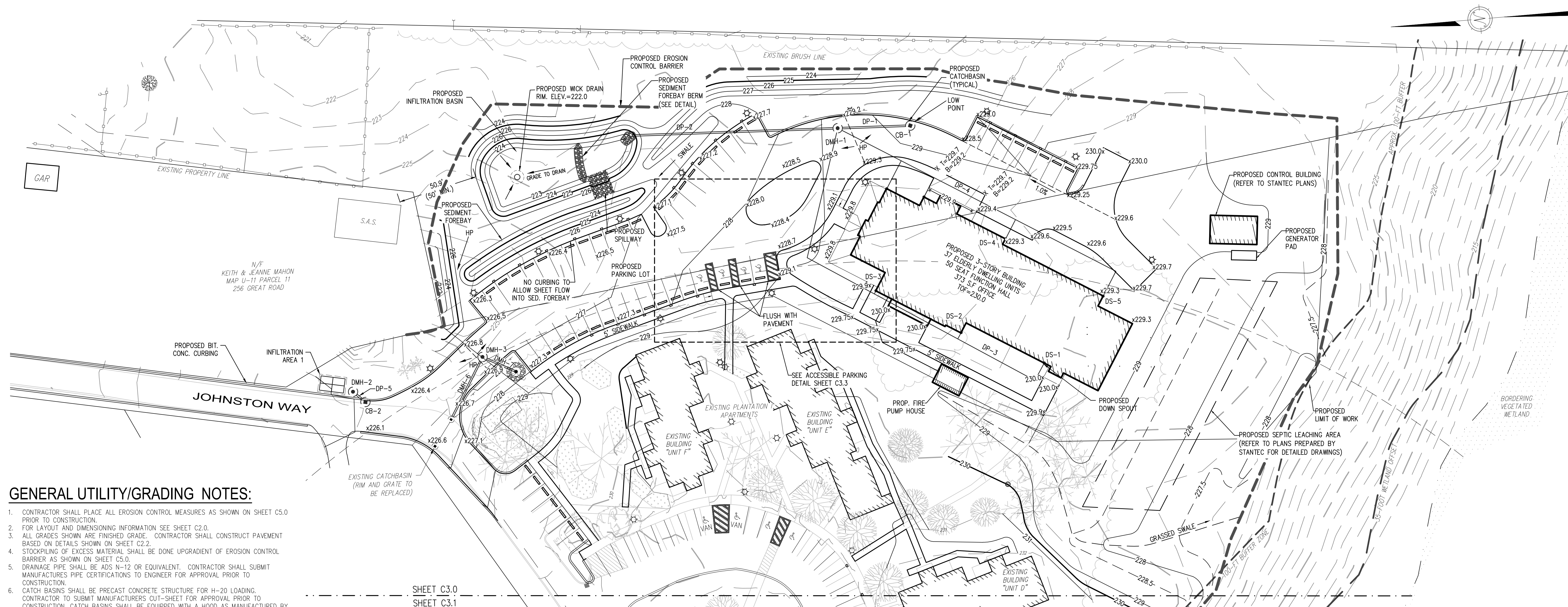
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C3.0



GENERAL UTILITY/GRADING NOTES:

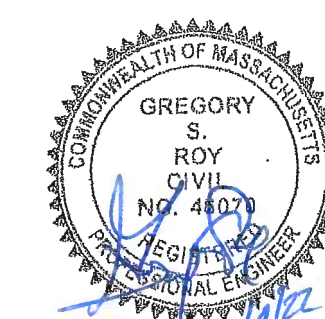
- CONTRACTOR SHALL PLACE ALL EROSION CONTROL MEASURES AS SHOWN ON SHEET C5.0 PRIOR TO CONSTRUCTION.
- FOR LAYOUT AND DIMENSIONING INFORMATION SEE SHEET C2.0.
- ALL GRADES SHOWN ARE FINISHED GRADE. CONTRACTOR SHALL CONSTRUCT PAVEMENT BASED ON DETAILS SHOWN ON SHEET C2.2.
- STOCKPILING OF EXCESS MATERIAL SHALL BE DONE UPGRADIENT OF EROSION CONTROL BARRIERS AS SHOWN ON SHEET C5.0.
- DRAINAGE PIPE SHALL BE ADS N-12 OR EQUIVALENT. CONTRACTOR SHALL SUBMIT MANUFACTURERS PIPE CERTIFICATIONS TO ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.
- CATCH BASINS SHALL BE PRECAST CONCRETE STRUCTURE FOR H=20 LOADING. CONTRACTOR TO SUBMIT MANUFACTURERS OUT-SHEET FOR APPROVAL PRIOR TO CONSTRUCTION. CATCH BASINS SHALL BE EQUIPPED WITH A HOOD AS MANUFACTURED BY GENERAL FOUNDRIES, PRODUCT NUMBER 22563 (OR EQUAL).
- CONTRACTOR TO STRIP TOP AND SUB SOIL FROM UNDER ALL PAVEMENT AND BUILDING AREAS (SEE STRUCTURAL PLANS & SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS).
- CATCH BASIN SHALL BE ADJUSTED TO FINAL GRADE PRIOR TO PLACING THE WEARING COURSE.
- THE PROPOSED WCK DRAIN SHALL BE INSTALLED USING A 30" DIA. ADS PERFORATED PIPE WITH A 30" NYLOPLAST MODEL 3099CGS DROP-IN GRATE. THE DRAIN SHALL BE SURROUNDED BY THREE FEET OF 1 1/2" CRUSHED STONE AS DETAILED ON SHEET C3.2. STONE RIPRAP TO BE 4"-6" ANGULAR STONE OVER FILTER FABRIC (MIRAFI 140N, OR EQUAL).
- FOREBAY STONE TO BE 2"-4" ANGULAR STONE (SEE DETAIL ON SHEET C3.2).

ROOF HEADER SCHEDULE

DS-1 ADS N-12 8" HDPE INV. IN=227.0 (DP-3)	8"	DS-4 ADS N-12 8" HDPE INV. OUT=227.0 (DP-4)	8"
DS-2 ADS N-12 8" HDPE INV. OUT=226.59 (DP-3)	8"	DS-5 ADS N-12 8" HDPE INV. OUT=226.29 (DP-5)	8"
DS-3 ADS N-12 8" HDPE INV. OUT=226.22 (DP-3)	8"	DS-6 ADS N-12 8" HDPE INV. OUT=225.63 (DP-6)	8"

DRAINAGE STRUCTURE SCHEDULE:

CB-1 PRECAST RC RIM = 228.7 12" HDPE INV. OUT=225.7 (DP-1)	4"	CB-2 PRECAST RC RIM = 226.0 12" HDPE INV. OUT=222.0 (DP-5)	4"
DMH-1 PRECAST RC RIM = 229.1 12" HDPE INV. IN=225.5 (DP-1) 8" HDPE INV. IN=225.5 (DP-3) 8" HDPE INV. IN=225.5 (DP-4) 12" HDPE INV. OUT=225.4 (DP-2)	4"	DMH-2 PRECAST RC RIM = 226.1 12" HDPE INV. IN=221.84 (DP-5) 12" HDPE INV. OUT=221.74 (INFIL. AREA 1)	4"
DMH-3 PRECAST RC RIM = 226.8 12" HDPE INV. IN=222.10 (DP-6) 12" HDPE INV. OUT=222.00 (DP-7)	4"		
DP-1 ADS N-12 SLOPE = 0.5% LENGTH = 44± INLET INV.=225.7 (CB-1) OUTLET INV.=225.5 (DMH-1)	12"	DP-2 ADS N-12 SLOPE = 0.7% LENGTH = 137± INLET INV.=225.4 (DMH-1) OUTLET INV.=224.5 (INFIL. BASIN)	12"
DP-3 ADS N-12 SLOPE = 0.6% LENGTH = 250± INLET INV.=227.0 (DS-1, DS-2, DS-3) OUTLET INV.=225.5 (DMH-1)	8"	DP-4 ADS N-12 SLOPE = 0.8% LENGTH = 200± INLET INV.=227.0 (DS-4, DS-5, DS-6) OUTLET INV.=225.5 (DMH-1)	8"
DP-5 ADS N-12 SLOPE = 2.0% LENGTH = 8± INLET INV.=222.00 (CB-2) OUTLET INV.=221.84 (DMH-2)	12"	DP-6 ADS N-12 SLOPE = 2.0% LENGTH = 42± INLET INV.=222.94 (EXISTING CB) OUTLET INV.=222.10 (DMH-3)	8"
DP-7 ADS N-12 SLOPE = 2.0% LENGTH = 21± INLET INV.=222.00 (DMH-3) OUTLET INV.=221.58 (LEACHING CB)	12"		



ISSUED FOR CONSTRUCTION

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Revision:

5/22/17	EDITS PER COMMENTS
8/8/17	FIRE CISTERN AND PATH WIDTH EDITS
4/27/18	UPDATED SITE LAYOUT
9/26/18	UPDATED SITE LAYOUT
10/26/18	REV. PER TOWN COMMENTS
11/14/18	REV. PER FIRE DEPT.
8/10/21	REV. PER NEW WELL LAYOUT
1/13/22	DESIGN DEVELOPMENT
8/29/22	ISSUED FOR CONSTRUCTION

Architect of Record: The Architectural Team

Drawn: RWP

Checked: GSR

Scale: 1"=30'

Key Plan:

Project Name:

PLANTATION APARTMENTS I & II
Plantation I

Johnston Way
Stow, Ma 01775

Sheet Name:

GRADING & DRAINAGE
PLAN 2

Project Number:

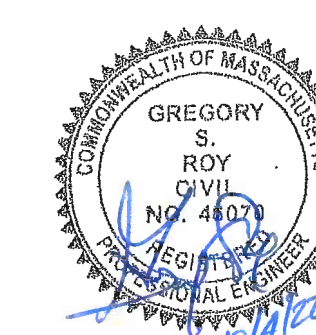
4644-2

Issue Date:

August 29, 2022

Sheet Number:

C3.1



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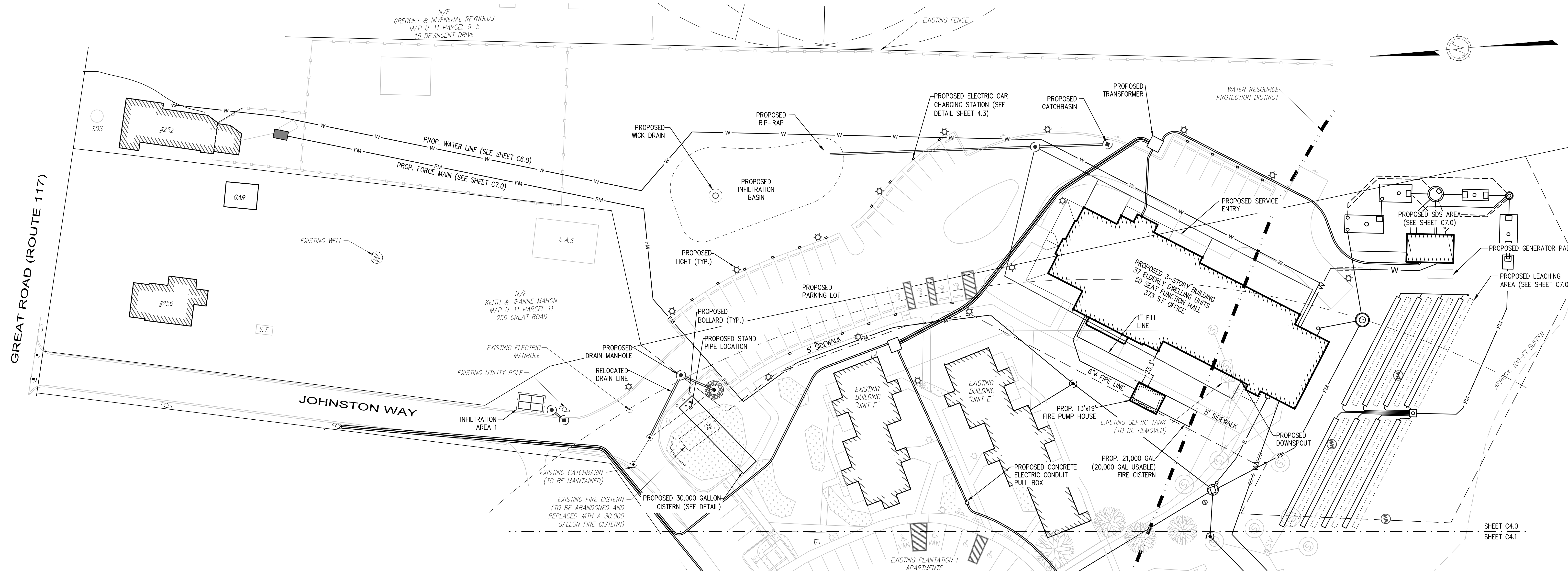
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GENERAL UTILITY NOTES:

1. CONTRACTOR SHALL PLACE ALL EROSION CONTROL MEASURES AS SHOWN ON SHEET C5.0 PRIOR TO CONSTRUCTION.
2. FOR LAYOUT AND DIMENSIONING INFORMATION SEE SHEET C2.0.
3. CONTRACTOR TO COORDINATE ALL UTILITY WORK WITH THE APPROPRIATE UTILITY COMPANY PRIOR TO CONSTRUCTION.
4. FINAL LOCATION OF ELECTRICAL SERVICE TO BE DETERMINED BY POWER COMPANY.
5. EXISTING FIRE CISTERN SHALL BE DISCONTINUED, CRUSHED, & FILLED.
6. INSTALL A NEW, 30,000 GALLON FIRE CISTERN (CHASE PRECAST OR EQUAL) FITTED WITH AN ACCESS HATCH, VENT, FILL AND SUCTION PIPE AND FLOAT GAUGE (PER THE STOW FIRE PROTECTION CISTERN REGULATIONS).
7. THE PROPOSED UTILITY AND ACCESS EASEMENTS SHALL REMAIN IN EFFECT FOR THE LIFETIME OF THE PROPOSED PLANTATION II BUILDING.
8. CONTRACTOR TO FURNISH & INSTALL ALL FITTINGS, VALVES, AND APPURTENANCES TO INSTALL THE PROPOSED WATER MAIN AND SEWER FORCE MAIN.



Consultant:

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Revision:

DATE	EDITS PER COMMENTS
5/22/17	FIRE CISTERN AND PATH WIDTH EDITS
8/8/17	UPDATED SITE LAYOUT
4/27/18	REV. PER TOWN COMMENTS
9/26/18	REV. PER FIRE DEPT.
10/26/18	REV. PER NEW WELL LAYOUT
11/14/18	DESIGN DEVELOPMENT
8/10/21	ISSUED FOR CONSTRUCTION

Architect of Record: The Architectural Team

Drawn: RWP

Checked: GSR

Scale: 1" = 30'

Key Plan:

Project Name:

PLANTATION APARTMENTS I & II
Plantation II

Johnston Way
Stow, MA 01775

Sheet Name:

UTILITIES PLAN

Project Number:

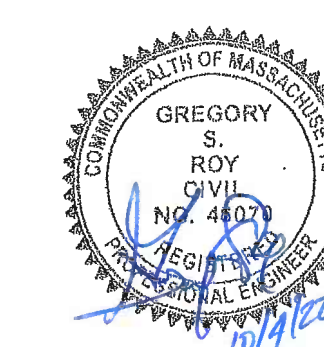
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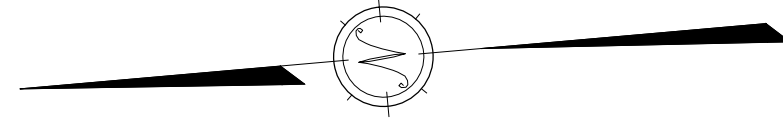
Issue Date:

August 29, 2022

Sheet Number:

C4.0



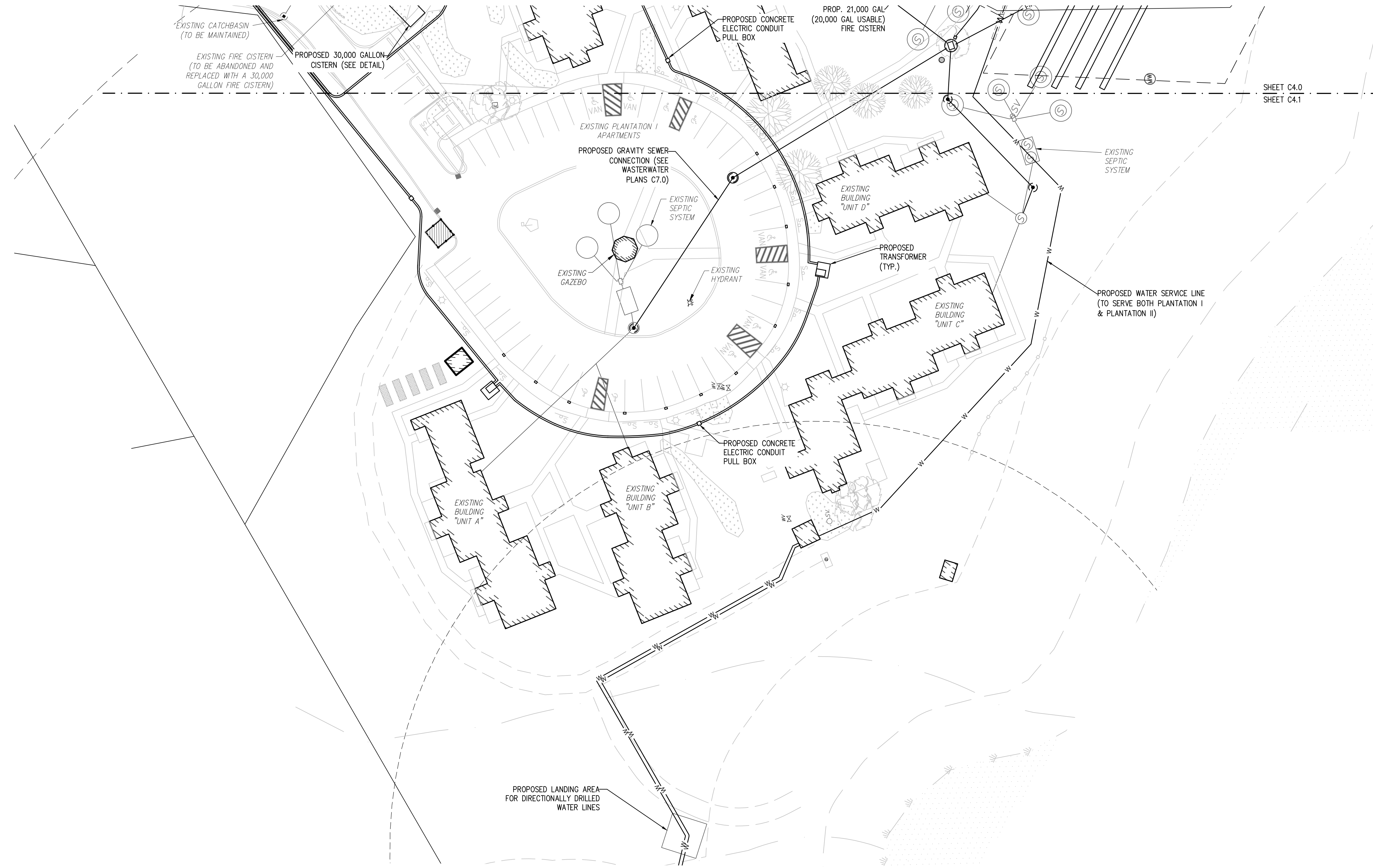


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SHEET C4.0
SHEET C4.1

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8/10/21	REV. PER NEW WELL LAYOUT
1/13/22	DESIGN DEVELOPMENT
8/29/22	ISSUED FOR CONSTRUCTION

Architect of Record: The Architectural Team

Drawn: RWP

Checked: GSR

Scale: 1"=30'

Key Plan:

Project Name:

**PLANTATION APARTMENTS I & II
PLANTATION I**

Johnston Way
Stow, MA 01775

Sheet Name:

UTILITIES PLAN 2

Project Number:

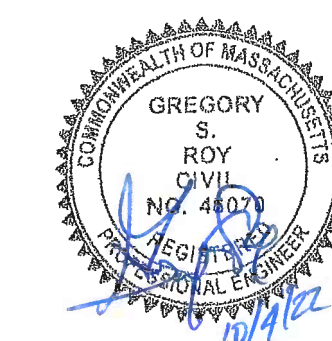
4644-2

Issue Date:

August 29, 2022

Sheet Number:

C4.1



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9/26/18	UPDATED SITE LAYOUT
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11/14/18	REV. PER FIRE DEPT.
8/10/21	REV. PER NEW WELL LAYOUT
1/13/22	DESIGN DEVELOPMENT
8/29/22	ISSUED FOR CONSTRUCTION

Architect of Record: The Architectural Team

Drawn: RWP

Checked: GSR

Scale: 1" = 30'

Key Plan:

Project Name:

PLANTATION APARTMENTS I & II
Plantation II

Johnston Way
Stow, Ma 01775

Sheet Name:

EROSION CONTROL PLAN

Project Number:

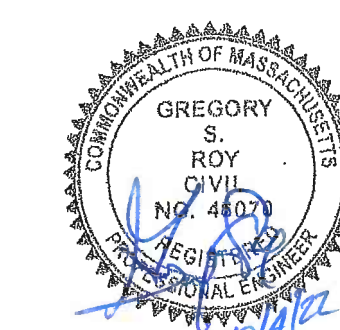
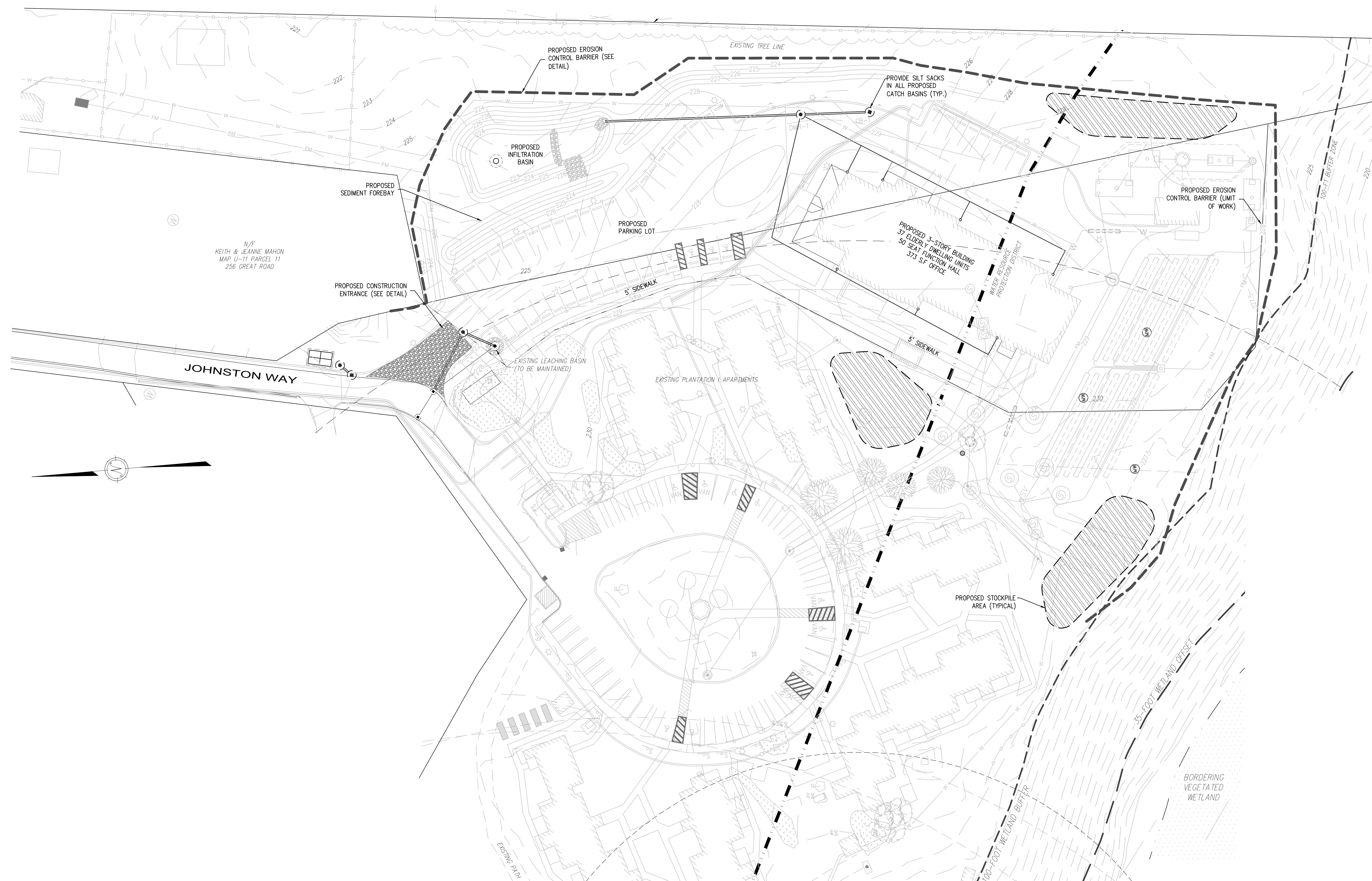
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Issue Date:

August 29, 2022

Sheet Number:

C5.0



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Revision:

DATE	EDITS PER COMMENTS
5/22/17	EDITS PER COMMENTS
8/8/17	FIRE CISTERN AND PATH WIDTH EDITS
4/27/18	UPDATED SITE LAYOUT
9/26/18	UPDATED SITE LAYOUT
10/26/18	REV. PER TOWN COMMENTS
11/14/18	REV. PER FIRE DEPT.
8/10/21	REV. PER NEW WELL LAYOUT
1/13/22	DESIGN DEVELOPMENT
8/29/22	ISSUED FOR CONSTRUCTION
9/22/22	REV. PER DEP COMMENTS

Architect of Record: The Architectural Team

Drawn: RWP

Checked: GSR

Scale: 1"=60'

Key Plan:

Project Name:

PLANTATION APARTMENTS I & II
Plantation II

Johnston Way
Stow, Ma 01775

Sheet Name:

WATER SYSTEM PLAN

Project Number:

4644-2

Issue Date:

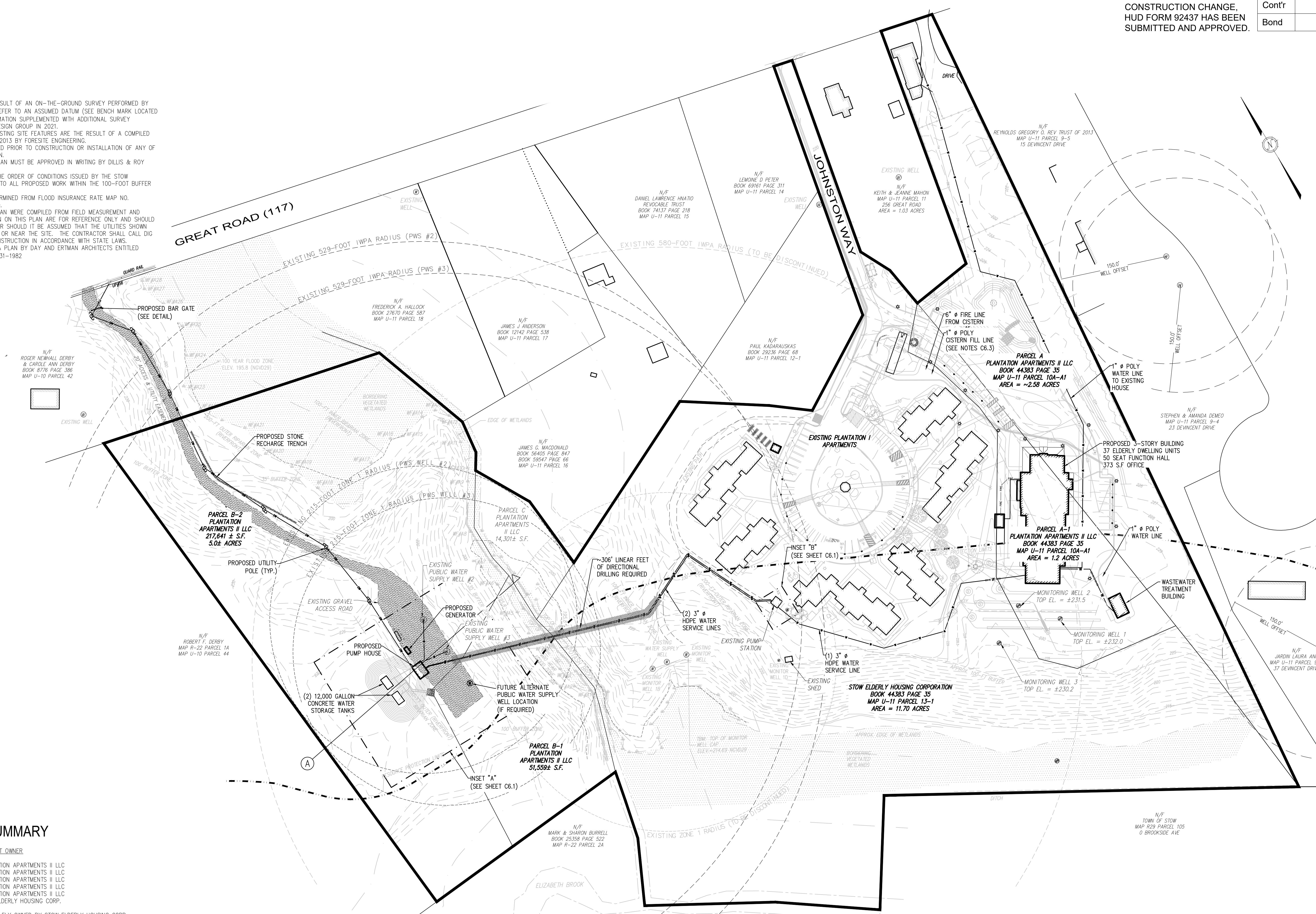
August 29, 2022

Sheet Number:

C6.0

GENERAL NOTES:

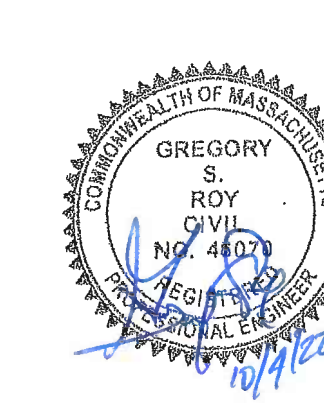
1. TOPOGRAPHIC INFORMATION IS THE RESULT OF AN ON-THE-GROUND SURVEY PERFORMED BY FORESITE ENGINEERING. ELEVATIONS REFER TO AN ASSUMED DATUM (SEE BENCH MARK LOCATED ON PLOT PLAN). TOPOGRAPHIC INFORMATION SUPPLEMENTED WITH ADDITIONAL SURVEY PERFORMED BY DILLIS & ROY CIVIL DESIGN GROUP IN 2021.
2. PROPERTY LINE AND LOCATION OF EXISTING SITE FEATURES ARE THE RESULT OF A COMPILED PLANS AND A PLAN OF LAND DATED 2013 BY FORESITE ENGINEERING.
3. PROPERTY LINES SHALL BE DETERMINED PRIOR TO CONSTRUCTION OR INSTALLATION OF ANY OF THE PROPOSED IMPROVEMENTS HEREON.
4. ANY DEVIATIONS FROM THE DESIGN PLAN MUST BE APPROVED IN WRITING BY DILLIS & ROY CIVIL DESIGN GROUP, INC.
5. THE CONTRACTOR SHALL REFER TO THE ORDER OF CONDITIONS ISSUED BY THE STOW CONSERVATION COMMISSION RELATIVE TO ALL PROPOSED WORK WITHIN THE 100-FOOT BUFFER ZONE.
6. FEMA 100-YR FLOOD ZONE WAS DETERMINED FROM FLOOD INSURANCE RATE MAP NO. 250170C061E EFFECTIVE JUNE 4, 2010.
7. EXISTING UTILITIES SHOWN ON THIS PLAN WERE COMPILED FROM FIELD MEASUREMENT AND RECORD PLANS. THE UTILITIES SHOWN ON THIS PLAN ARE FOR REFERENCE ONLY AND SHOULD NOT BE ASSUMED TO BE CORRECT NOR SHOULD IT BE ASSUMED THAT THE UTILITIES SHOWN ARE THE ONLY UTILITIES LOCATED ON OR NEAR THE SITE. THE CONTRACTOR SHALL CALL DIG SAFE 1-888-DIG-SAFE PRIOR TO CONSTRUCTION IN ACCORDANCE WITH STATE LAWS. GROUNDWATER CONTOURS REFER TO A PLAN BY DAY AND ERTMAN ARCHITECTS ENTITLED "WATER AND SEWER PLAN" DATED 8-31-1982.



FACILITY LAND SUMMARY

PARCEL	CURRENT OWNER
A	PLANTATION APARTMENTS II LLC
A-1	PLANTATION APARTMENTS II LLC
B-1	PLANTATION APARTMENTS II LLC
B-2	PLANTATION APARTMENTS II LLC
C	PLANTATION APARTMENTS II LLC
MAP U-11, PARCEL 13-1	STOW ELDERLY HOUSING CORP.

*PLANTATION APARTMENTS II LLC IS SOLELY OWNED BY STOW ELDERLY HOUSING CORP.



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Revision:

5/22/17	EDITS PER COMMENTS
8/8/17	FIRE CISTERN AND PATH WIDTH EDITS
4/27/18	UPDATED SITE LAYOUT
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8/10/21	REV. PER NEW WELL LAYOUT
1/13/22	DESIGN DEVELOPMENT
8/29/22	ISSUED FOR CONSTRUCTION

Architect of Record: The Architectural Team

Drawn: RWP

Checked: GSR

Scale: 1"=30'

Key Plan:

Project Name:

PLANTATION APARTMENTS I & II
Plantation II

Johnston Way
Stow, Ma 01775

Sheet Name:

WASTEWATER

Project Number:

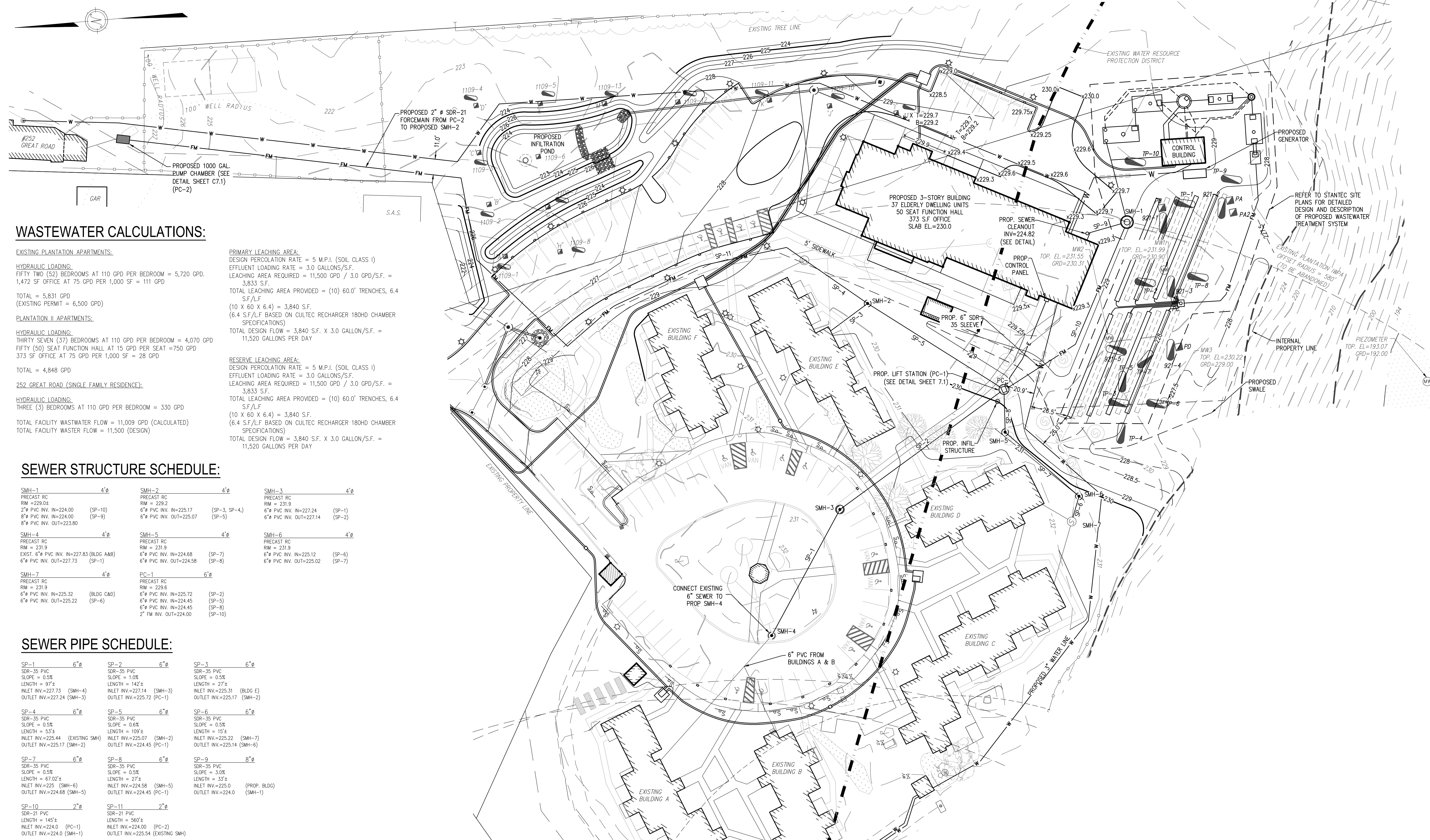
4644-2

Issue Date:

August 29, 2022

Sheet Number:

C7.0



WASTEWATER CALCULATIONS:

EXISTING PLANTATION APARTMENTS:

HYDRAULIC LOADING:
FIFTY TWO (52) BEDROOMS AT 110 GPD PER BEDROOM = 5,720 GPD.
1,472 SF OFFICE AT 75 GPD PER 1,000 SF = 111 GPD

TOTAL = 5,831 GPD
(EXISTING PERMIT = 6,500 GPD)

PLANTATION II APARTMENTS:

HYDRAULIC LOADING:
THIRTY SEVEN (37) BEDROOMS AT 110 GPD PER BEDROOM = 4,070 GPD
FIFTY (50) SEAT FUNCTION HALL AT 15 GPD PER SEAT = 750 GPD
373 SF OFFICE AT 75 GPD PER 1,000 SF = 28 GPD

TOTAL = 4,848 GPD

252 GREAT ROAD (SINGLE FAMILY RESIDENCE):

HYDRAULIC LOADING:
THREE (3) BEDROOMS AT 110 GPD PER BEDROOM = 330 GPD

TOTAL FACILITY WASTEWATER FLOW = 11,009 GPD (CALCULATED)

TOTAL FACILITY WASTER FLOW = 11,500 (DESIGN)

PRIMARY LEACHING AREA:
DESIGN PERCOLATION RATE = 5 M.P.I. (SOIL CLASS I)
EFFLUENT LOADING RATE = 3.0 GALLONS/S.F.
LEACHING AREA REQUIRED = 11,500 GPD / 3.0 GPD/S.F. = 3,833 S.F.

TOTAL LEACHING AREA PROVIDED = (10) 60.0' TRENCHES, 6.4 S.F./F
(10 X 60 X 6.4) = 3,840 S.F.

(6.4 S.F./F BASED ON CULTREC RECHARGER 180HD CHAMBER SPECIFICATIONS)
TOTAL DESIGN FLOW = 3,840 S.F. X 3.0 GALLON/S.F. = 11,520 GALLONS PER DAY.

RESERVE LEACHING AREA:
DESIGN PERCOLATION RATE = 5 M.P.I. (SOIL CLASS I)
EFFLUENT LOADING RATE = 3.0 GALLONS/S.F.
LEACHING AREA REQUIRED = 11,500 GPD / 3.0 GPD/S.F. = 3,833 S.F.

TOTAL LEACHING AREA PROVIDED = (10) 60.0' TRENCHES, 6.4 S.F./F
(10 X 60 X 6.4) = 3,840 S.F.

(6.4 S.F./F BASED ON CULTREC RECHARGER 180HD CHAMBER SPECIFICATIONS)
TOTAL DESIGN FLOW = 3,840 S.F. X 3.0 GALLON/S.F. = 11,520 GALLONS PER DAY.

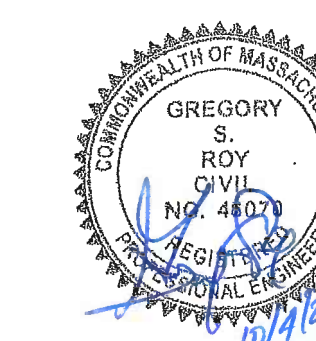
SEWER STRUCTURE SCHEDULE:

SMH-1 PRECAST RC RM = 229.04 2" PVC INV. IN=224.00 6" PVC INV. IN=224.00 6" PVC INV. OUT=223.80	SMH-2 PRECAST RC RM = 229.2 6" PVC INV. IN=225.17 6" PVC INV. OUT=225.07	SMH-3 PRECAST RC RM = 231.9 6" PVC INV. IN=227.24 6" PVC INV. OUT=227.14
SMH-4 PRECAST RC RM = 231.9 EXST. 6" PVC INV. IN=227.83 (BLDG A&B) 6" PVC INV. OUT=227.73	SMH-5 PRECAST RC RM = 231.9 6" PVC INV. IN=224.68 6" PVC INV. OUT=224.58	SMH-6 PRECAST RC RM = 231.9 6" PVC INV. IN=225.12 6" PVC INV. OUT=225.02
SMH-7 PRECAST RC RM = 231.9 6" PVC INV. IN=225.32 (BLDG C&D) 6" PVC INV. OUT=225.22	PC-1 PRECAST RC RM = 229.6 6" PVC INV. IN=225.72 6" PVC INV. IN=224.45 2" TM INV. OUT=224.00	

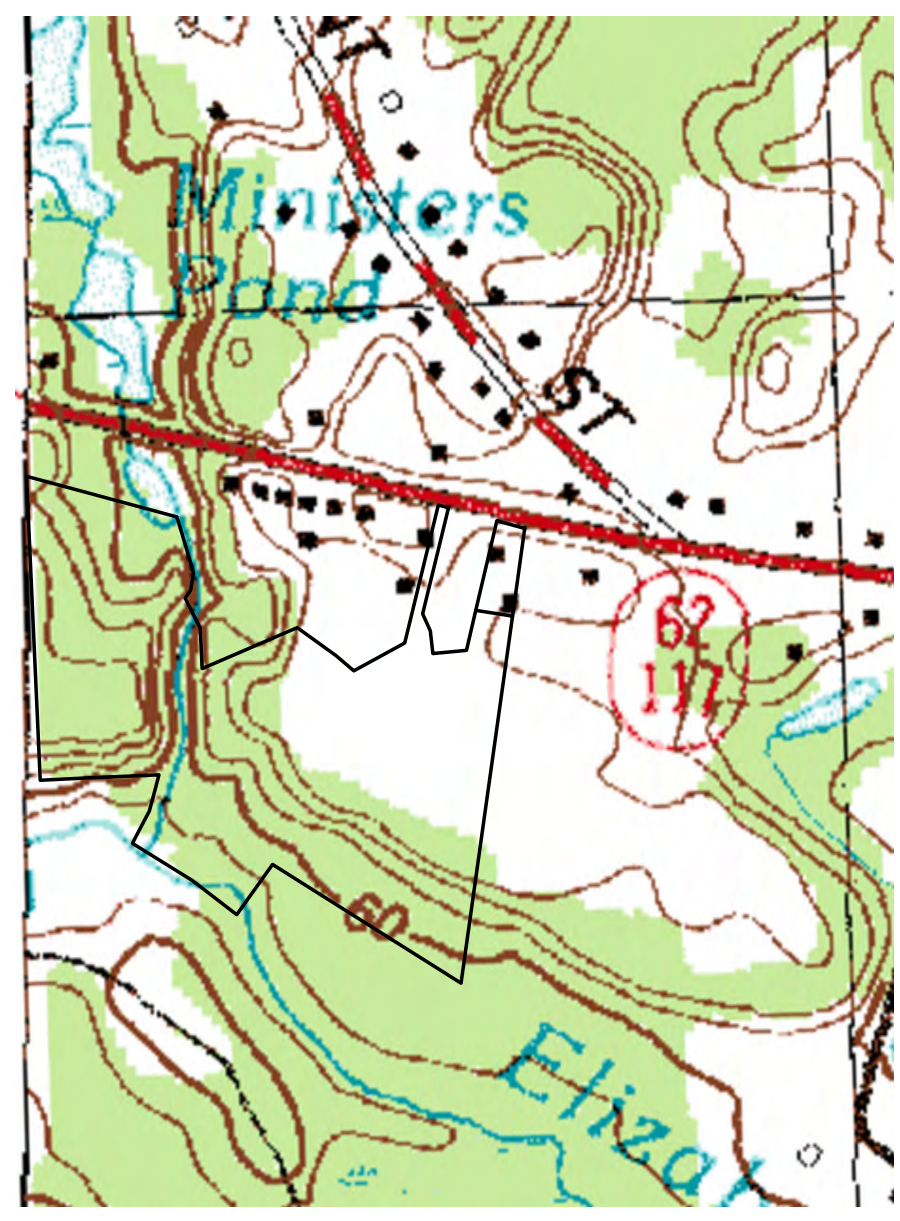
SEWER PIPE SCHEDULE:

SP-1 SDR-35 PVC SLOPE = 0.5% LENGTH = 97'± INLET INV.=227.73 (SMH-4) OUTLET INV.=227.24 (SMH-3)	SP-2 SDR-35 PVC SLOPE = 1.0% LENGTH = 142'± INLET INV.=227.14 (SMH-3) OUTLET INV.=225.72 (PC-1)	SP-3 SDR-35 PVC SLOPE = 0.5% LENGTH = 27'± INLET INV.=225.31 (BLDG E) OUTLET INV.=225.17 (SMH-2)
SP-4 SDR-35 PVC SLOPE = 0.5% LENGTH = 53'± INLET INV.=225.44 (EXISTING SMH) OUTLET INV.=225.17 (SMH-2)	SP-5 SDR-35 PVC SLOPE = 0.6% LENGTH = 109'± INLET INV.=225.07 (SMH-2) OUTLET INV.=224.45 (PC-1)	SP-6 SDR-35 PVC SLOPE = 0.5% LENGTH = 151'± INLET INV.=225.22 (SMH-7) OUTLET INV.=225.14 (SMH-6)
SP-7 SDR-35 PVC SLOPE = 0.5% LENGTH = 67.02'± INLET INV.=225 (SMH-6) OUTLET INV.=224.68 (SMH-5)	SP-8 SDR-35 PVC SLOPE = 0.5% LENGTH = 27'± INLET INV.=224.58 (SMH-5) OUTLET INV.=224.45 (PC-1)	SP-9 SDR-35 PVC SLOPE = 3.0% LENGTH = 33'± INLET INV.=225.0 (PROP. BLDG) OUTLET INV.=224.0 (SMH-1)
SP-10 SDR-21 PVC LENGTH = 145'± INLET INV.=224.0 (PC-1) OUTLET INV.=224.0 (SMH-1)	SP-11 SDR-21 PVC LENGTH = 560'± INLET INV.=224.00 (PC-2) OUTLET INV.=225.94 (EXISTING SMH)	

ISSUED FOR CONSTRUCTION



GREAT ROAD
1928 COUNTY LAYOUT 50' WIDE

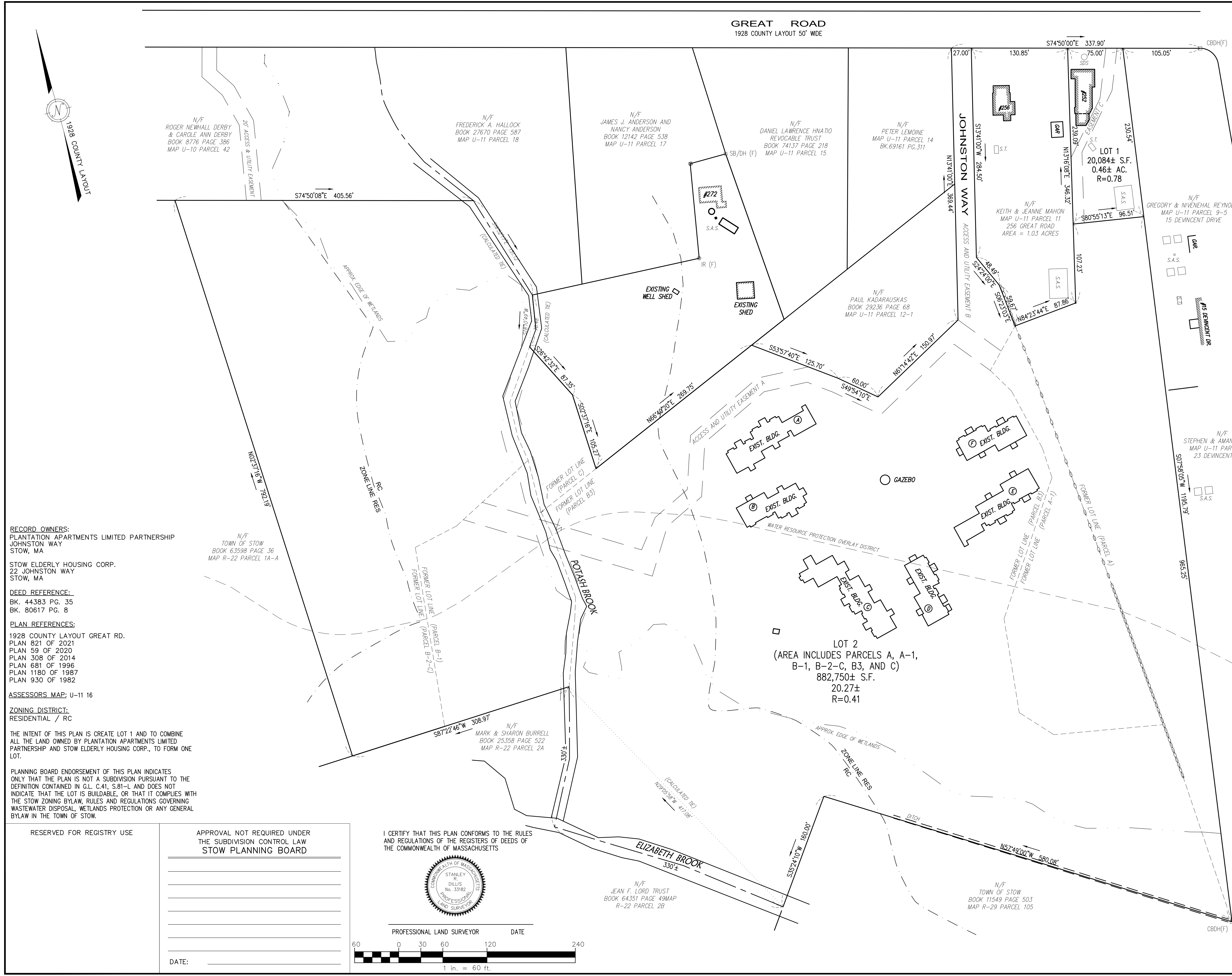


LOCUS MAP
SCALE: 1" = 500'

- NOTES:
1. THE LAND OUTSIDE OF THE PROPOSED ANR SHALL NOT BE CONSIDERED AS PART OF THIS ENDORSEMENT.
 2. THIS PLAN IS MEANT AND INTENDED TO SUPERSEDE ALL PLANS WHICH PREDATE THE ENDORSEMENT.
 3. OVERLAY DISTRICTS WITHIN ARE AS SHOWN HEREON.
 4. SEE STOW ZONING BOARD OF APPEALS DECISIONS FOR COMPREHENSIVE PERMITS DATED 1-11-2019 FOR PLANTATION 1 AND 1-11-2019 FOR PLANTATION 2.

LEGEND

- IR (F) ○ IRON ROD FOUND
- CBDH(F) □ CONCRETE BOUND DRILL HOLE FOUND
- SBDH(F) □ STONE BOUND DRILL HOLE FOUND
- S.A.S. □ SEPTIC SYSTEM



RECORD OWNERS:
PLANTATION APARTMENTS LIMITED PARTNERSHIP
JOHNSTON WAY
STOW, MA

STOW ELDERLY HOUSING CORP.
22 JOHNSTON WAY
STOW, MA

DEED REFERENCE:
BK. 44383 PG. 35
BK. 80617 PG. 8

PLAN REFERENCES:
1928 COUNTY LAYOUT GREAT RD.
PLAN 821 OF 2021
PLAN 59 OF 2020
PLAN 308 OF 2014
PLAN 681 OF 1996
PLAN 1180 OF 1987
PLAN 930 OF 1982

ASSESSORS MAP: U-11 16

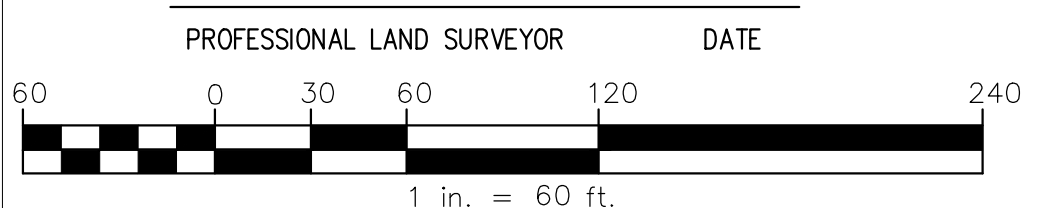
ZONING DISTRICT:
RESIDENTIAL / RC

THE INTENT OF THIS PLAN IS CREATE LOT 1 AND TO COMBINE ALL THE LAND OWNED BY PLANTATION APARTMENTS LIMITED PARTNERSHIP AND STOW ELDERLY HOUSING CORP., TO FORM ONE LOT.

PLANNING BOARD ENDORSEMENT OF THIS PLAN INDICATES ONLY THAT THE PLAN IS NOT A SUBDIVISION PURSUANT TO THE DEFINITION CONTAINED IN G.L. C.41, S.81-L AND DOES NOT INDICATE THAT THE LOT IS BUILDBLE, OR THAT IT COMPLIES WITH THE STOW ZONING BYLAW, RULES, AND REGULATIONS GOVERNING WASTEWATER DISPOSAL, WETLANDS PROTECTION OR ANY GENERAL BYLAW IN THE TOWN OF STOW.

APPROVAL NOT REQUIRED UNDER THE SUBDIVISION CONTROL LAW STOW PLANNING BOARD

I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS



PLAN OF LAND IN STOW, MASSACHUSETTS	
DATE: OCTOBER 12, 2022	SCALE: 1 in. = 60 ft.
OWNER: PLANTATION APARTMENTS LIMITED PARTNERSHIP JOHNSTON WAY STOW, MA STOW ELDERLY HOUSING CORP. 22 JOHNSTON WAY STOW, MA	JOB NO. 4644-2 DWG. NO. 4644-2-ANR-2022

DILLIS & ROY
CIVIL DESIGN GROUP

CIVIL ENGINEERS LAND SURVEYORS WETLAND CONSULTANTS
1 MAIN STREET, SUITE 1 LUNENBURG, MA 01462
PHONE: (978) 779-6091 www.dillisandroy.com

DATE: _____

DATE _____

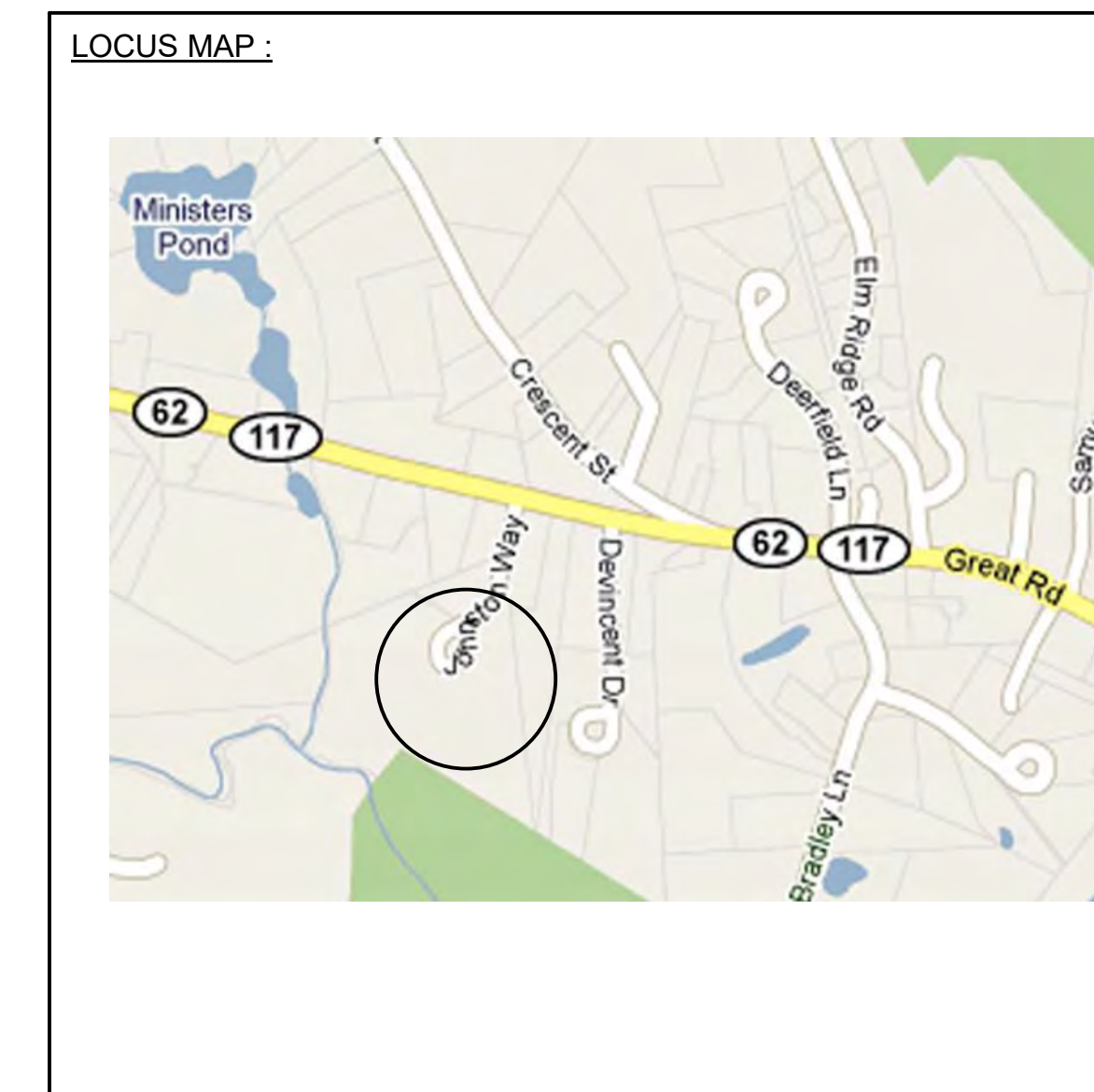
PLANTATION APARTMENTS I & II

Johnston Way
Stow, MA 01775



SUBMISSIONS :	
JANUARY 13, 2022	DHCD SUBMISSION
AUGUST 29, 2022	BID SET

PROJECT CONTACT INFORMATION :	
OWNER	STOW ELDERLY HOUSING CORPORATION 22 JOHNSTON WAY STOW, MA 01775 PHONE #: FAX #:
GENERAL CONTRACTOR	NEI GENERAL CONTRACTING 27 PACELLA PARK DRIVE, RANDOLPH RANDOLPH, MA 02368 PHONE # : 781.356.7666 FAX # : 781.356.2221
ARCHITECT	THE ARCHITECTURAL TEAM 50 COMMANDANTS WAY AT ADMIRALS HILL CHELSEA, MA 02150 PHONE # : 617.889.4402 FAX # : 617.884.4329
GEOTECHNICAL CONSULTANT	YANKEE ENGINEERING & TESTING, INC 10 MASON STREET WORCESTER, MA 01609 PHONE # : 508.831.7404 FAX # : 508.831.7388
CIVIL ENGINEER	DILLIS & ROY CIVIL DESIGN GROUP 1 MAIN STREET, SUITE 1 LUNENBURG, MA 01462 PHONE # : 978.779.6091 FAX # : 978.779.0290
LANDSCAPE ARCHITECT	RYAN ASSOCIATES 144 MOODY STREET, BUILDING 4 WALTHAM, MA 02453 PHONE # : 781.314.0401 FAX #:
STRUCTURAL ENGINEER	CATES ENGINEERING, LTD. 13575 HEATHCOTE BLVD, SUITE 170 GAINESVILLE, VA 20155 PHONE # : 571.261.9280 FAX #:
FIRE PROTECTION, PLUMBING, MECHANICAL, ELECTRICAL ENGINEER	WOZNY BARBER & ASSOCIATES 1078 WASHINGTON STREET HANOVER, MA 02339 PHONE # : 781.826.4144 FAX # : 781.924.5792
INTERIOR DESIGNER	THE ARCHITECTURAL TEAM 50 COMMANDANTS WAY AT ADMIRALS HILL CHELSEA, MA 02150 PHONE # : 617.889. FAX #:



tat

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Consultant:

Revision:

Architect of Record:

Drawn: JS

Checked: AS

Scale:

Key Plan:

Project Name:
**PLANTATION
APARTMENTS I & II**

Johnston Way
Stow, MA 01775

Sheet Name:
PROJECT COVER

Project Number:
09152

Issue Date:
AUGUST 29, 2022

Sheet Number:
T0.01

NO DEVIATION FROM THE CONTRACT PLANS AND SPECIFICATIONS CAN BE MADE UNTIL A REQUEST FOR CONSTRUCTION CHANGE, HUD FORM 92437 HAS BEEN SUBMITTED AND APPROVED.

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Owner	
Cont'r	
Bond	

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the architectural team

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SITE CONSTRUCTION PLAN

PLANTATION APARTMENTS II

TITLE SHEET

GENERAL NOTES:

- TOPOGRAPHIC INFORMATION IS THE RESULT OF AN ON-THE-GROUND SURVEY PERFORMED BY FORESTE ENGINEERING AND SUPPLEMENTED BY DILLIS AND ROY CIVIL DESIGN GROUP, INC. IN APRIL 2017 AND MAY 2021. ELEVATIONS REFER TO AN ASSUMED DATUM.
- PROPERTY LINE INFORMATION SHOWN IS THE RESULT OF AN ON-THE-GROUND SURVEY PERFORMED BY DILLIS & ROY CIVIL DESIGN GROUP.
- ANY DEVIATIONS FROM THE DESIGN PLAN MUST BE APPROVED IN WRITING BY DILLIS & ROY CIVIL DESIGN GROUP, INC.
- THE CONTRACTOR SHOULD REFER TO THE ORDER OF CONDITIONS ISSUED BY THE STOW CONSERVATION COMMISSION (RECORDED IN BOOK 78062, PAGE 117 IN THE SOUTH MIDDLESEX REGISTRY OF DEEDS) PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- FEMA 100-YR FLOOD ZONE WAS DETERMINED FROM FLOOD INSURANCE RATE MAP NO. 25017C0361F EFFECTIVE JULY 7, 2014.
- EXISTING UTILITIES SHOWN ON THIS PLAN WERE COMPILED FROM FIELD MEASUREMENT AND RECORD PLANS. THE UTILITIES SHOWN ON THIS PLAN ARE FOR REFERENCE ONLY AND SHOULD NOT BE ASSUMED TO BE CORRECT NOR SHOULD IT BE ASSUMED THAT THE UTILITIES SHOWN ARE THE ONLY UTILITIES LOCATED ON OR NEAR THE SITE. THE CONTRACTOR SHALL CALL DIG SAFE 1-888-DIG-SAFE PRIOR TO CONSTRUCTION IN ACCORDANCE WITH STATE LAWS.

LEGEND

EXIST. FEATURE	DESCRIPTION	EXIST. SYM.	DESCRIPTION
	STREAMS/RIVERS		LIGHT POLE
	WETLANDS		TELEPHONE POLE
	LIMIT OF BUFFER ZONE		GUY WIRE
	LEDGE		HYDRANT
	WELL RADIUS		SEWER MANHOLE
	WIRE FENCE		STORM WATER MANHOLE
	WOOD FENCE		WELL
	GUARD RAIL		MISCELLANEOUS MANHOLE
	CHAIN LINK FENCE		WETLAND FLAG
	STONE RETAINING WALL		CATCH BASIN
	STONE WALL		WATER GATE VALVE
	WATER LINE		ELECTRICAL METER
	ELECTRICAL LINE		TRAFFIC SIGNAL SWITCH
	STORM DRAIN		SIGN
	EXISTING OVER-HEAD WIRES		ELECTRICAL TRANSFORMER
	EXISTING CONTOUR (INDEX)		FLAG POLE
	EXISTING CONTOUR (INTERMEDIATE)		SHRUB
	EXISTING BUILDING/HOUSE		
	TREE LINE		
PROP. FEATURE	DESCRIPTION	PROP. SYM.	DESCRIPTION
	REPLICATED WETLANDS		PROPOSED LIGHT POLE
	PROPERTY LINE		PROPOSED TELEPHONE POLE
	EASEMENT LINE		PROPOSED HYDRANT
	HAYBALES		PROPOSED SANITARY MANHOLE
	WIRE FENCE		PROPOSED STORM WATER MANHOLE
	WOOD FENCE		PROPOSED TELEPHONE MANHOLE
	CHAIN LINK FENCE		PROPOSED ELECTRICAL MANHOLE
	POURED CONCRETE RETAINING WALL		PROPOSED CATCH BASIN
	CONC. BLOCK RETAINING WALL		PROPOSED DOUBLE CATCH BASIN
	STONE RETAINING WALL		PROPOSED WATER GATE VALVE
	PROPOSED WATER LINE		PROPOSED ELECTRICAL TRANSFORMER
	PROPOSED ELECTRICAL LINE		PROPOSED ELECTRICAL JUNCTION BOX
	PROPOSED SANITARY SEWER		PROPOSED TRAFFIC SIGNAL SWITCH
	PROPOSED STORM DRAIN		PROPOSED SIGN
	PROPOSED ROOF DRAIN		BORING
	PROPOSED UNDER DRAIN		HANDICAPPED SPACE
	PROPOSED BACK CAPE COD BERM		PROPOSED FLARED END SECTION
	PROPOSED EDGE OF PAVEMENT		PROPOSED RRPRAP
	PROPOSED UNPAVED ROAD		STANDARD TREE
	PROPOSED CONTOUR (INDEX)		PINE TREE
	PROPOSED CONTOUR (INTERMEDIATE)		SHRUB
	PROPOSED SPOT ELEVATION		
	PROPOSED BUILDING/HOUSE		
	TREE LINE		

ABBREVIATIONS

ABB.	DESCRIPTION
ATM	ATMOSPHERIC TANK
UD	UNDERDRAIN
FD	FOUNDATION DRAIN
P.S.	PIPE SERVICE
DWM	DOMESTIC WATER SERVICE
B.O.	WATER BLOW OFF
DMH	DRAIN MANHOLE
SMH	SEWER MANHOLE
ST	SEPTIC TANK
PC	PUMP CHAMBER
DP	DRAIN PIPE ID
SP	SEWER PIPE ID
DB	DISTRIBUTION BOX
SC	STORMCEPTOR CATCH BASIN
GAL	GALLOW
TOP	TOP OF FOUNDATION
EL.	ELEVATION
INRY	INVERT
WSD	WATER SHUTOFF
BOCB	BUTTMANUS CAPE COD BERM
RET.	RETAINING WALL
C.O.	CLEAN OUT
WOP.T.	INSPECTION PORT



LOCUS MAP
SCALE: 1" = 500'

SHEET INDEX

SHEET NUMBER	SHEET TITLE	LATEST REVISION
C1.0	TITLE SHEET	8/29/2022
C1.1	EXISTING CONDITIONS PLAN	8/29/2022
C1.2	EXISTING CONDITIONS SHEET 2	8/29/2022
C1.3	SOIL TEST LOGS	8/29/2022
C2.0	LAYOUT PLAN	8/29/2022
C2.1	LAYOUT PLAN SHEET 2	8/29/2022
C2.2	LAYOUT DETAILS	8/29/2022
C3.0	GRADING PLAN	8/29/2022
C3.1	GRADING PLAN SHEET 2	8/29/2022
C3.2	GRADING DETAILS	8/29/2022
C3.3	GRADING DETAILS 2	8/29/2022
C4.0	UTILITIES PLAN	8/29/2022
C4.1	UTILITIES PLAN SHEET 2	8/29/2022
C4.2	UTILITY DETAILS	8/29/2022
C5.0	EROSION CONTROL PLAN	8/29/2022
C5.1	EROSION CONTROL DETAILS & NOTES	8/29/2022
C6.0	WATER SYSTEM PLAN	8/29/2022
C6.1	WATER SERVICE LINE PROFILE	8/29/2022
C6.2	BOOSTER STATION SCHEMATIC	8/29/2022
C6.3	WATER SYSTEM NOTES	8/29/2022
C6.4	WATER SYSTEM DETAILS	8/29/2022
C7.0	WASTEWATER PLAN	8/29/2022
C7.1	PUMP CHAMBER DETAILS	8/29/2022
C7.2	WASTEWATER DETAILS	8/29/2022

Consultant:

DILLIS & ROY
CIVIL DESIGN GROUP
CIVIL ENGINEERS LAND SURVEYORS WETLAND CONSULTANTS
1 MAIN STREET, SUITE 1 LUNENBURG, MA 01462 PHONE: (978) 779-6091 www.dillisonroy.com

Revision:

DATE	EDITS PER COMMENTS
5/22/17	EDITS PER COMMENTS
8/8/17	FIRE CISTERN AND PATH WIDTH EDITS
4/27/18	UPDATED SITE LAYOUT
9/26/18	UPDATED SITE LAYOUT
10/26/18	REV. PER TOWN COMMENTS
11/14/18	REV. PER FIRE DEPT.
8/10/21	REV. PER NEW WELL LAYOUT
1/13/22	DESIGN DEVELOPMENT
8/29/22	ISSUED FOR CONSTRUCTION

Architect of Record: The Architectural Team

Drawn: RWP

Checked: GSR

Scale: N/A

Key Plan:

Project Name:

PLANTATION APARTMENTS I & II
Plantation II

Johnston Way
Stow, Ma 01775

Sheet Name:

TITLE SHEET

Project Number:

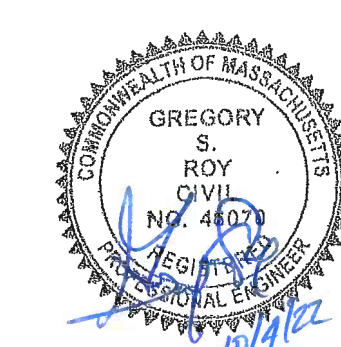
4644-2

Issue Date:

August 29, 2022

Sheet Number:

C1.0



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1/13/22	DESIGN DEVELOPMENT
8/29/22	ISSUED FOR CONSTRUCTION

Architect of Record: The Architectural Team

Drawn: RWP

Checked: GSR

Scale: 1"=40'

Key Plan:

Project Name:

PLANTATION APARTMENTS I & II
Plantation I

Johnston Way
Stow, Ma 01775

Sheet Name:

EXISTING CONDITIONS

Project Number:

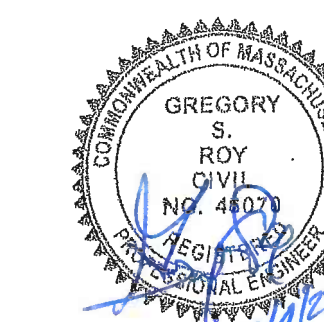
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Issue Date:

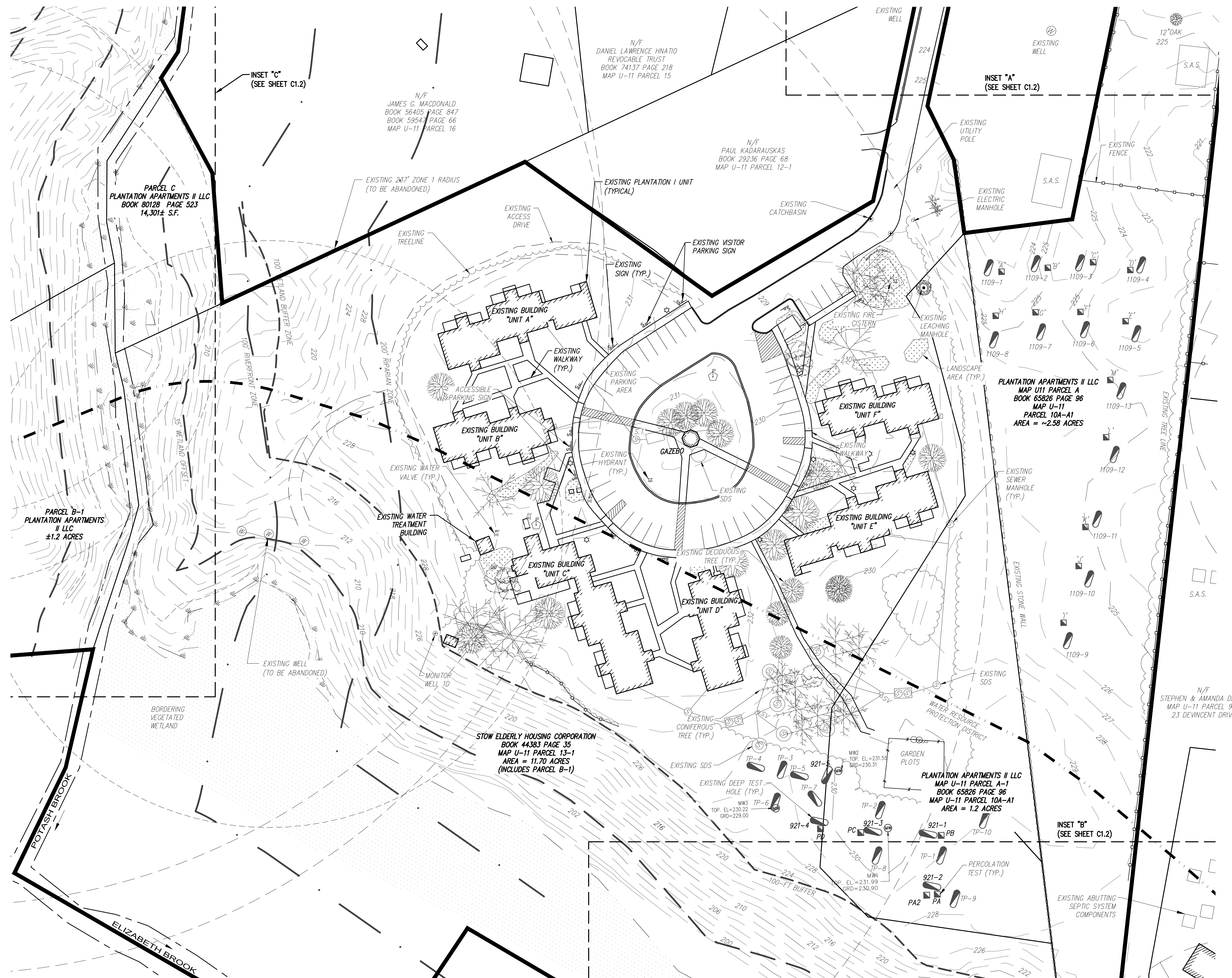
August 29, 2022

Sheet Number:

C1.1



ISSUED FOR CONSTRUCTION



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8/10/21	REV. PER NEW WELL LAYOUT
1/13/22	DESIGN DEVELOPMENT
8/29/22	ISSUED FOR CONSTRUCTION

Architect of Record: The Architectural Team

Drawn: RWP

Checked: GSR

Scale: 1"=30'

Key Plan:

Project Name:

PLANTATION APARTMENTS I & II
Plantation II

Johnston Way
Stow, Ma 01775

Sheet Name:

LAYOUT PLAN

Project Number:

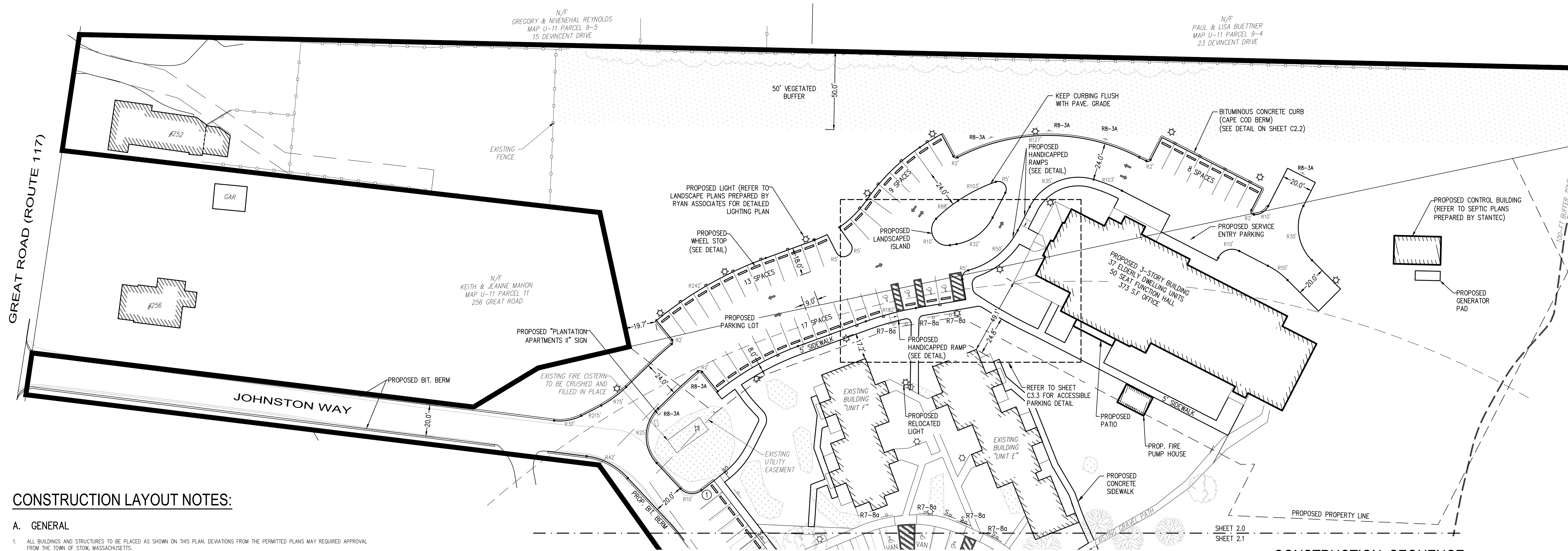
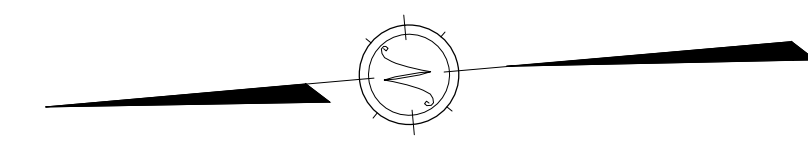
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Issue Date:

August 29, 2022

Sheet Number:

C2.0



CONSTRUCTION LAYOUT NOTES:

A. GENERAL

- ALL BUILDINGS AND STRUCTURES TO BE PLACED AS SHOWN ON THIS PLAN. DEVIATIONS FROM THE PERMITTED PLANS MAY REQUIRE APPROVAL FROM THE TOWN OF STOW, MASSACHUSETTS.
- CONTRACTOR TO NOTIFY ENGINEER FOR ALL CONSTRUCTION STAKING REQUESTS A MINIMUM OF 72 HOURS AHEAD OF SCHEDULE.
- SEE SHEET C3.3 FOR GRADING & DRAINAGE AND SHEET C4.0 FOR PROPOSED UTILITY PLACEMENT.
- CONTRACTOR SHALL CALL 1-888-DIG-SAFE IN ACCORDANCE WITH STATE LAWS PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL REFER TO THE ORDER OF CONDITIONS ISSUED BY THE STOW CONSERVATION COMMISSION (RECORDED IN BOOK 78062, PAGE 117 IN THE SOUTH MIDDLESEX REGISTRY OF DEEDS).
- THIS PROJECT AS PROPOSED WILL ALTER MORE THAN 1 ACRE OF AREA. AS SUCH A NOTICE OF INTENT WILL NEED TO BE PREPARED AND FILED WITH THE ENVIRONMENTAL PROTECTION AGENCY PRIOR TO BEGINNING CONSTRUCTION (BY CONTRACTOR).
- THE SITE IS NOT WITHIN AN ESTIMATED HAZARD OF RARE OR ENDANGERED SPECIES AS DEFINED BY THE NATIONAL HERITAGE AND ENDANGERED SPECIES PROGRAM 2008 MAP.
- CONTRACTOR SHALL PLACE ALL EROSION CONTROL BARRIERS PRIOR TO CONSTRUCTION AS SHOWN ON SHEET C5.0.
- CONTRACTOR SHALL NOTIFY THE TOWN OF STOW IN WRITING OF INTENT TO BEGIN CONSTRUCTION ACTIVITIES AT LEAST 5 BUSINESS DAYS BEFORE COMMENCING CONSTRUCTION ACTIVITY ON SITE AND RETAIN PROOF OF RECEIPT OF SUCH NOTICE FROM THE TOWN CLERK.

B. MATERIALS

- ASPHALT
 - ASPHALT TO CONFORM TO MASSDOT SECTION M311.03
 - PAVEMENT TO BE 1" 2" WEARING COURSE (TABLE B) OVER 2" BINDER COURSE (TABLE A).
 - REFER TO TYPICAL PAVEMENT CROSS SECTION DETAIL ON SHEET C3.2.
- SIDEWALK
 - SIDEWALKS SHALL BE CONSTRUCTED OF ASPHALT CONFORMING TO MASSDOT SECTION M311.03
 - PAVEMENT SHALL BE 4" IN DEPTH.
 - REFER TO DETAIL ON SHEET C2.2 FOR SIDEWALK DETAIL.
- BITUMINOUS BERM
 - BITUMINOUS BERM SHALL BE CAPE COD BERM. REFER TO DETAIL ON SHEET C2.2 FOR ADDITIONAL INFORMATION.
- PRECAST CONC. BERM
 - CONC. BERM ADJACENT TO SIDEWALK AREAS SHALL BE VERTICAL TYPE. REFER TO DETAIL ON SHEET C2.2 FOR ADDITIONAL INFORMATION.
- STRIPING
 - PARKING STRIPES SHALL BE 4-INCHES IN WIDTH.
 - PARKING SPACES SHALL BE 9" WIDE X 18" DEEP AND SHALL BE MEASURED FROM CENTER OF STRIP TO CENTER OF STRIPE.
- ACCESSIBLE RAMPS
 - ACCESSIBLE RAMPS SHALL BE INSTALLED IN ACCORDANCE WITH MASSACHUSETTS ARCHITECTURAL ACCESS BOARD AND AMERICAN DISABILITIES ACT LAWS AND REGULATIONS
 - REFER TO THE ACCESSIBLE RAMP DETAIL ON SHEET C2.2.
- SIGN POSTS & SIGNS
 - REFER TO THE SIGN SCHEDULE ON THIS SHEET AND THE DETAILS ON SHEET C2.2 FOR ADDITIONAL INFORMATION.
- ELECTRIC CAR CHARGER PADS
 - ELECTRIC CAR CHARGING STATIONS SHALL CONSIST OF A 1' X 2' CONCRETE PAD BEHIND THE CURB.
 - REFER TO SHEET C4.3 FOR DETAILS AND SPECIFICATIONS.
- BOLLARDS
 - BOLLARDS SHALL BE 4- FEET HIGH AND CONSTRUCTED OF STEEL
 - BOLLARDS SHALL BE INSTALLED WITH A PLASTIC SLEEVE (COLOR TO BE DETERMINED BY PROPERTY OWNER)
 - REFER TO DETAIL ON SHEET C2.2
- WHEEL STOPS
 - WHEEL STOPS SHALL BE INSTALLED IN ALL PROPOSED AND EXISTING PARKING SPACES
 - REFER TO THE WHEEL STOP DETAIL ON SHEET C2.2.

PROPOSED SIGN SCHEDULE

ALL PARKING SIGNS SHALL BE INSTALLED IN THE LOCATIONS SHOWN ON THE SITE PLANS AND PER THE DETAILS ON SHEET C2.2.

MUTCD SIGN CODE	SIGN TYPE
R8-3A	"NO PARKING ANY TIME"
R7-8A	"RESERVED PARKING"

PLANTATION II PARKING TABLE

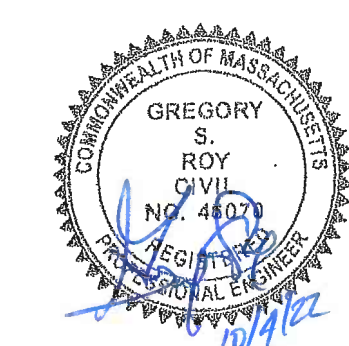
ALL PARKING SPACES ARE REQUIRED BE AT LEAST 9' WIDE x 18' DEEP PER THE STOW STANDARD PARKING DIMENSIONAL REGULATIONS.

USE CATEGORY	PROPOSED SPACES
HANDICAPPED	4 SPACES (2 VAN)
PLANTATION II TOTAL	47 SPACES

CONSTRUCTION SEQUENCE:

CONTRACTOR TO ADJUST CONSTRUCTION SEQUENCE, AS APPROVED BY OWNER, AS REQUIRED FOR CONSTRUCTION.

- INSTALL EROSION CONTROL BARRIERS AS SHOWN ON SHEET C5.0 AND PER THE ORDER OF CONDITIONS ISSUED BY THE STOW CONSERVATION COMMISSION (RECORDED IN BOOK 78062, PAGE 117 AT THE SOUTH MIDDLESEX REGISTRY OF DEEDS).
- SCHEDULE AND CONDUCT PRE-CONSTRUCTION MEETING WITH SITE ENGINEER, ARCHITECT, GENERAL CONTRACTOR, SITE CONTRACTOR AND STOW CONSERVATION COMMISSION.
- CLEAR AND GRUB PROPOSED LIMITS OF CLEARING, REMOVE STUMPS AND VEGETATION FROM SITE.
- CONSTRUCT CRUSHED STONE CONSTRUCTION ZONE ENTRANCE (SEE SHEET C5.0 FOR LOCATION).
- STRIP AND STOCKPILE LOAM, COVER WITH SUITABLE TARP.
- ROUGH GRADE ACCESS DRIVEWAY AND PARKING AREAS.
- EXCAVATE, CONSTRUCT AND BACKFILL BUILDING FOUNDATION.
- INSTALL WATER, GAS, ELECTRIC, TELEPHONE AND CABLE UTILITIES TO BUILDING.
- COMMENCE BUILDING CONSTRUCTION.
- INSTALL STORM DRAINAGE STARTING AT INFILTRATION BASIN AND WORKING UPGRADIENT TO CATCH BASIN. INSTALL TEMPORARY CONSTRUCTION FENCE AROUND INFILTRATION BASIN TO KEEP HEAVY TRUCKS AND EQUIPMENT OFF DURING CONSTRUCTION.
- RAISE CATCH BASIN GRATE TO BINDER GRADE AND INSTALL SILT SACKS IN BASIN AND SURROUND CATCH BASIN WITH HAYBALES.
- INSTALL WASTEWATER SYSTEM LEACHING BED, LATERALS AND MANFOLDS.
- BACKFILL AND COMPACT WASTEWATER SYSTEM LEACHING AREA IN ACCORDANCE WITH THE COMPACTION REQUIREMENTS OF THE SYSTEM DESIGN.
- INSTALL SEPTIC TANK, DOSING CHAMBER, PUMPS, ETC. CONTACT DESIGN ENGINEER TO CONDUCT REQUIRED TESTS ON THE SYSTEM.
- COMPLETE GRADING AND COMPACTION OF AREAS TO BE PAVED.
- INSTALL BINDER COURSE OF PAVEMENT AND INSTALL CAPE COD BERMS.
- COMPLETE BUILDING CONSTRUCTION.
- INSTALL CONCRETE CURBING AND SIDEWALKS.
- LOAM AND SEED ALL DISTURBED AREAS. COMPLETE SITE LANDSCAPING.
- CLEAN CATCH BASIN SUMP OF SEDIMENT AND DEBRIS AND THOROUGHLY SWEEP BINDER COURSE OF PAVEMENT.
- FOLLOWING COMPLETION OF ALL CONSTRUCTION ACTIVITIES, INSTALL FINISH COURSE OF PAVEMENT.
- INSTALL WHEEL STOPS.
- PLACE THERMOPLASTIC PAVEMENT MARKINGS FOR PARKING SPACES AND HANDICAP ACCESSIBLE PARKING SPACES.
- UPON COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ADEQUATE STABILIZATION OF DISTURBED AREAS OF THE SITE WITH VEGETATION OR OTHER SUITABLE GROUND COVER, REMOVE AND DISPOSE OF OFF SITE ALL EROSION CONTROL BARRIER MATERIALS.



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PLANTATION I MATERIAL NOTES

1. DUMPSTER PAD
 - 1.1. DUMPSTER PAD SHALL BE CONSTRUCTED WITH 6" CONCRETE REINFORCED WITH #4 REBAR @ 12" ON CENTER IN BOTH DIRECTIONS
2. VINYL FENCE
 - 2.1. VINYL FENCE SHALL BE 6- FEET IN HEIGHT
 - 2.2. POSTS SHALL BE 4" SQUARE
 - 2.3. REFER TO DETAIL ON SHEET C2.2
3. STRIPING
 - 3.1. PARKING STRIPS SHALL BE 4-INCHES IN WIDTH
 - 3.2. PARKING SPACES SHALL BE 9' WIDE X 18' DEEP AND SHALL BE MEASURED FROM CENTER OF STRIP TO CENTER OF STRIFE
4. WALKWAYS
 - 4.1. PROPOSED 4'-WIDE CONCRETE WALKWAYS SHALL BE INSTALLED AS SHOWN ON THE SITE PLAN
 - 4.2. REFER TO SIDEWALK DETAIL ON SHEET C2.2
5. COMMUNITY GARDEN BEDS
 - 5.1. THE COMMUNITY GARDEN BEDS SHALL BE CONSTRUCTED WITH PRESSURE TREATED TIMBERS
 - 5.2. REFER TO COMMUNITY GARDEN DETAIL ON SHEET C2.2.
6. SHED
 - 6.1. PROPOSED CONCRETE WALKWAYS SHALL BE INSTALLED AS SHOWN ON THE SITE PLAN
 - 6.2. REFER TO SIDEWALK DETAIL ON SHEET C2.2

PLANTATION I PARKING TABLE

ALL PARKING SPACES ARE REQUIRED BE AT LEAST 9' WIDE x 18' DEEP PER THE STOW STANDARD PARKING DIMENSIONAL REGULATIONS.

USE CATEGORY	EXISTING SPACES	PROPOSED SPACES
ACCESSIBLE:	10 SPACES	10 SPACES (6 VAN)
TRADITIONAL:	35 SPACES	42 SPACES
PLANTATION I TOTAL:	45 SPACES	52 SPACES

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Revision:

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8/8/17	FIRE CISTERN AND PATH WIDTH EDITS
4/27/18	UPDATED SITE LAYOUT
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8/10/21	REV. PER NEW WELL LAYOUT
1/13/22	DESIGN DEVELOPMENT
8/29/22	ISSUED FOR CONSTRUCTION

Architect of Record: The Architectural Team

Drawn: RWP

Checked: GSR

Scale: 1"=30'

Key Plan:

Project Name:

PLANTATION APARTMENTS I & II
Plantation I

Johnston Way
Stow, Ma 01775

Sheet Name:

LAYOUT DETAILS

Project Number:

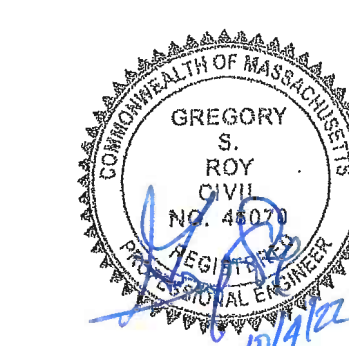
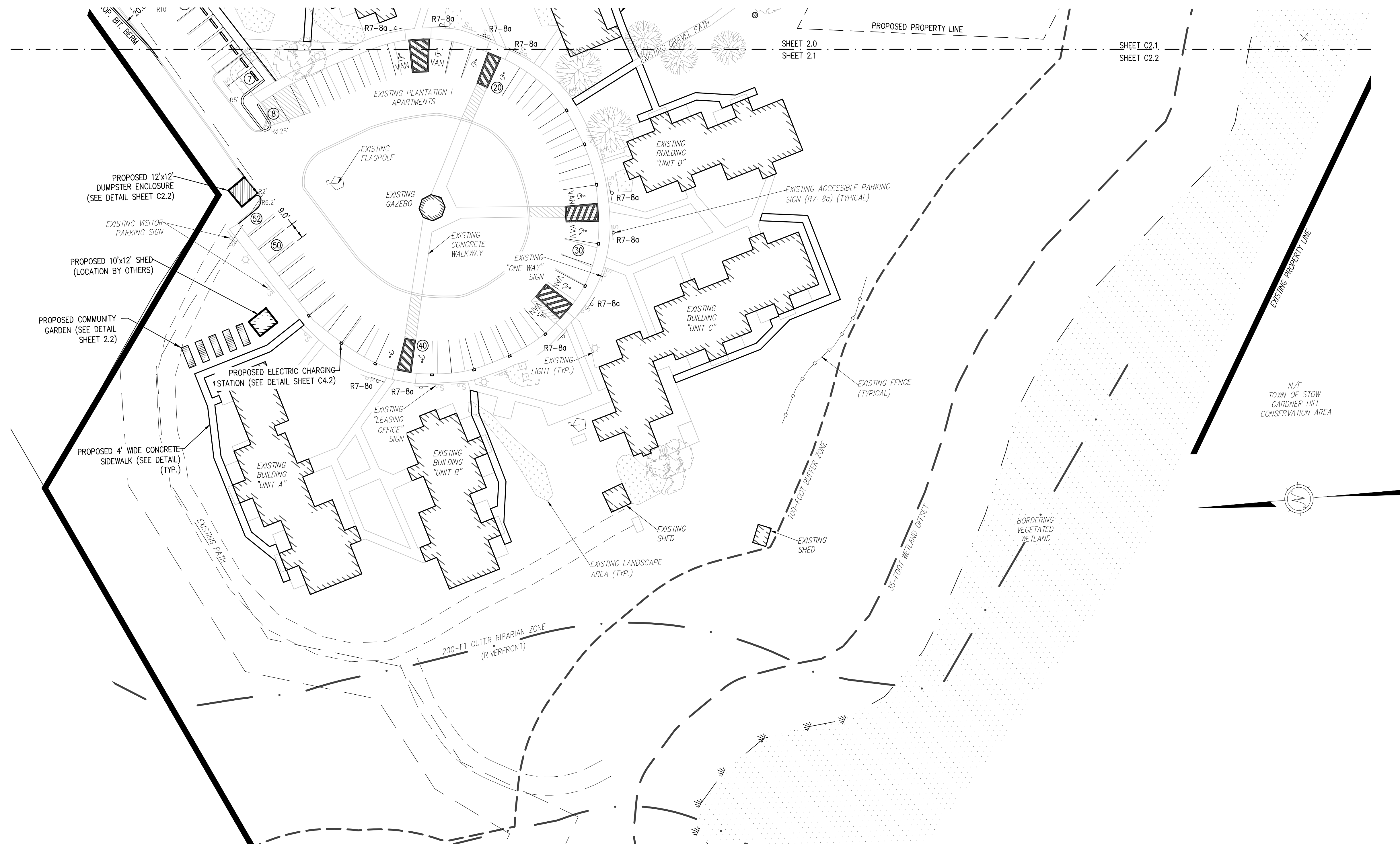
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Sheet Number:

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8/29/22	ISSUED FOR CONSTRUCTION

Architect of Record: The Architectural Team

Drawn: RWP

Checked: GSR

Scale: 1"=30'

Key Plan:

Project Name:

PLANTATION APARTMENTS I & II
Plantation II

Johnston Way
Stow, Ma 01775

Sheet Name:

GRADING & DRAINAGE PLAN

Project Number:

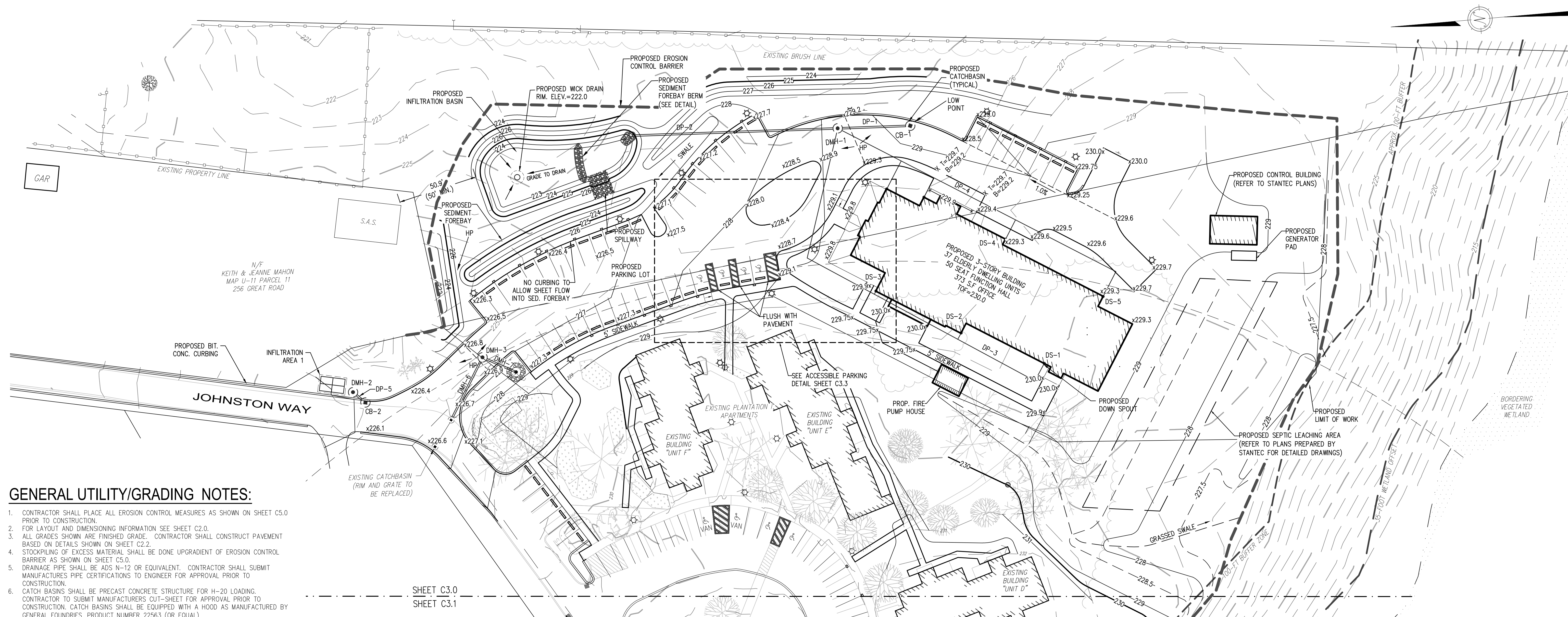
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Issue Date:

August 29, 2022

Sheet Number:

C3.0



GENERAL UTILITY/GRADING NOTES:

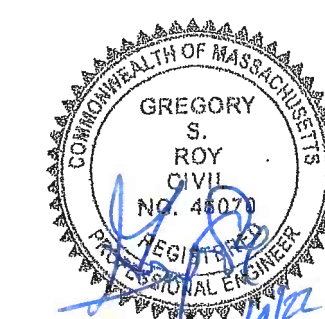
- CONTRACTOR SHALL PLACE ALL EROSION CONTROL MEASURES AS SHOWN ON SHEET C5.0 PRIOR TO CONSTRUCTION.
- FOR LAYOUT AND DIMENSIONING INFORMATION SEE SHEET C2.0.
- ALL GRADES SHOWN ARE FINISHED GRADE. CONTRACTOR SHALL CONSTRUCT PAVEMENT BASED ON DETAILS SHOWN ON SHEET C2.2.
- STOCKPILING OF EXCESS MATERIAL SHALL BE DONE UPGRADIENT OF EROSION CONTROL BARRIERS AS SHOWN ON SHEET C5.0.
- DRAINAGE PIPE SHALL BE ADS N-12 OR EQUIVALENT. CONTRACTOR SHALL SUBMIT MANUFACTURERS PIPE CERTIFICATIONS TO ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.
- CATCH BASINS SHALL BE PRECAST CONCRETE STRUCTURE FOR H=20 LOADING. CONTRACTOR TO SUBMIT MANUFACTURERS OUT-SHEET FOR APPROVAL PRIOR TO CONSTRUCTION. CATCH BASINS SHALL BE EQUIPPED WITH A HOOD AS MANUFACTURED BY GENERAL FOUNDRIES, PRODUCT NUMBER 22563 (OR EQUAL).
- CONTRACTOR TO STRIP TOP AND SUB SOIL FROM UNDER ALL PAVEMENT AND BUILDING AREAS (SEE STRUCTURAL PLANS & SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS).
- CATCH BASIN SHALL BE ADJUSTED TO FINAL GRADE PRIOR TO PLACING THE WEARING COURSE.
- THE PROPOSED WICK DRAIN SHALL BE INSTALLED USING A 30" DIA. ADS PERFORATED PIPE WITH A 30" NYLOPLAST MODEL 3099CGS DROP-IN GRATE. THE DRAIN SHALL BE SURROUNDED BY THREE FEET OF 1/2" CRUSHED STONE AS DETAILED ON SHEET C3.2. STONE RIPRAP TO BE 4"-6" ANGULAR STONE OVER FILTER FABRIC (MIRAFI 140N, OR EQUAL).
- FOREBAY STONE TO BE 2"-4" ANGULAR STONE (SEE DETAIL ON SHEET C3.2).

ROOF HEADER SCHEDULE

DS-1 ADS N-12 8" HDPE INV. IN=227.0 (DP-3)	8"	DS-4 ADS N-12 8" HDPE INV. OUT=227.0 (DP-4)	8"
DS-2 ADS N-12 8" HDPE INV. OUT=226.59 (DP-3)	8"	DS-5 ADS N-12 8" HDPE INV. OUT=226.29 (DP-5)	8"
DS-3 ADS N-12 8" HDPE INV. OUT=226.22 (DP-3)	8"	DS-6 ADS N-12 8" HDPE INV. OUT=225.63 (DP-6)	8"

DRAINAGE STRUCTURE SCHEDULE:

CB-1 PRECAST RC RIM =228.7 12" HDPE INV. OUT=225.7 (DP-1)	4"	CB-2 PRECAST RC RIM =226.0 12" HDPE INV. OUT=222.0 (DP-5)	4"
DMH-1 PRECAST RC RIM =229.1 12" HDPE INV. IN=225.5 (DP-1) 8" HDPE INV. IN=225.5 (DP-3) 8" HDPE INV. IN=225.5 (DP-4) 12" HDPE INV. OUT=225.4 (DP-2)	4"	DMH-2 PRECAST RC RIM =226.1 12" HDPE INV. IN=221.84 (DP-5) 12" HDPE INV. OUT=221.74 (INFIL. AREA 1)	4"
DMH-3 PRECAST RC RIM =226.8 12" HDPE INV. IN=222.10 (DP-6) 12" HDPE INV. OUT=222.00 (DP-7)	4"		
DP-1 ADS N-12 SLOPE = 0.5% LENGTH = 44± INLET INV.=225.7 (CB-1) OUTLET INV.=225.5 (DMH-1)	12"	DP-2 ADS N-12 SLOPE = 0.7% LENGTH = 137± INLET INV.=225.4 (DMH-1) OUTLET INV.=224.5 (INFIL. BASIN)	12"
DP-3 ADS N-12 SLOPE = 0.6% LENGTH = 250± INLET INV.=227.0 (DS-1, DS-2, DS-3) OUTLET INV.=225.5 (DMH-1)	8"	DP-4 ADS N-12 SLOPE = 0.8% LENGTH = 200± INLET INV.=227.0 (DS-4, DS-5, DS-6) OUTLET INV.=225.5 (DMH-1)	8"
DP-5 ADS N-12 SLOPE = 2.0% LENGTH = 8± INLET INV.=222.00 (CB-2) OUTLET INV.=221.84 (DMH-2)	12"	DP-6 ADS N-12 SLOPE = 2.0% LENGTH = 42± INLET INV.=222.94 (EXISTING CB) OUTLET INV.=222.10 (DMH-3)	8"
DP-7 ADS N-12 SLOPE = 2.0% LENGTH = 21± INLET INV.=222.00 (DMH-3) OUTLET INV.=221.58 (LEACHING CB)	12"		



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Revision:

5/22/17	EDITS PER COMMENTS
8/8/17	FIRE CISTERN AND PATH WIDTH EDITS
4/27/18	UPDATED SITE LAYOUT
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1/13/22	DESIGN DEVELOPMENT
8/29/22	ISSUED FOR CONSTRUCTION

Architect of Record: The Architectural Team

Drawn: RWP

Checked: GSR

Scale: 1"=30'

Key Plan:

Project Name:

PLANTATION APARTMENTS I & II
Plantation I

Johnston Way
Stow, Ma 01775

Sheet Name:

GRADING & DRAINAGE PLAN 2

Project Number:

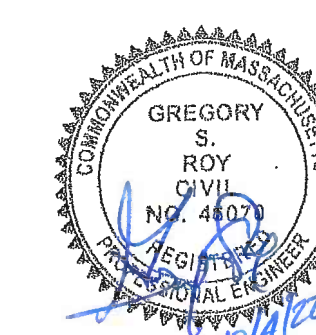
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Issue Date:

August 29, 2022

Sheet Number:

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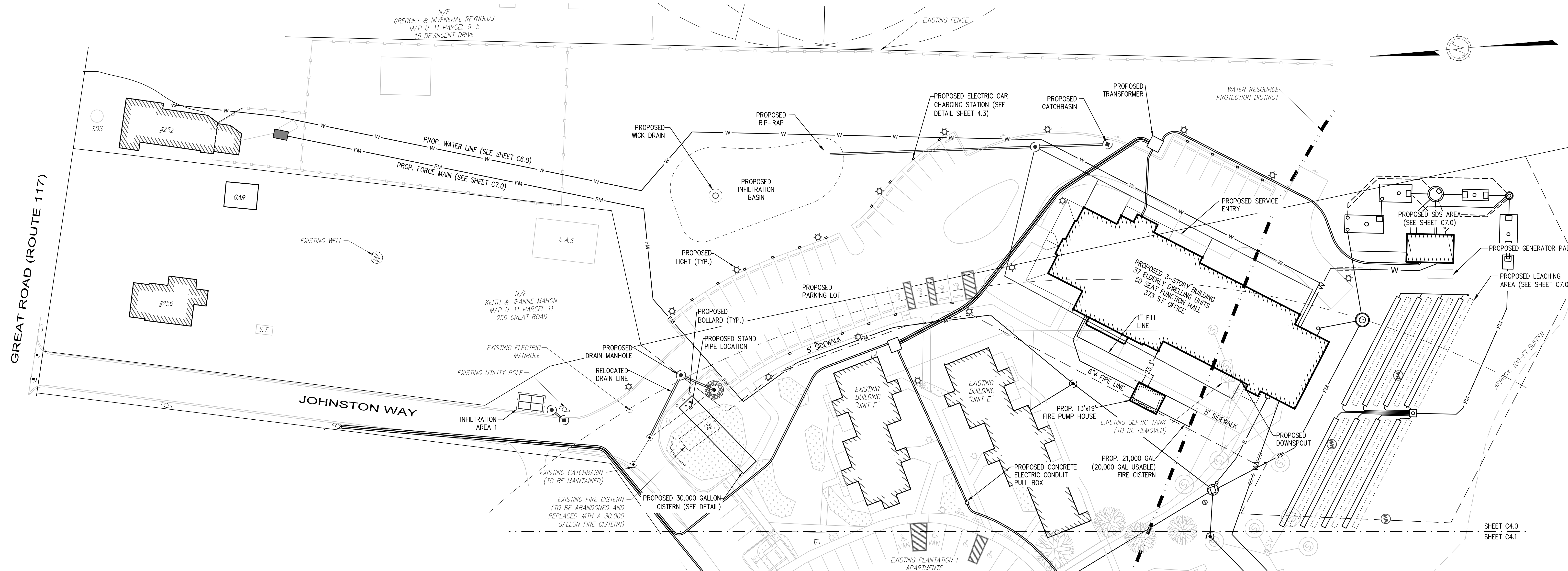
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GENERAL UTILITY NOTES:

1. CONTRACTOR SHALL PLACE ALL EROSION CONTROL MEASURES AS SHOWN ON SHEET C5.0 PRIOR TO CONSTRUCTION.
2. FOR LAYOUT AND DIMENSIONING INFORMATION SEE SHEET C2.0.
3. CONTRACTOR TO COORDINATE ALL UTILITY WORK WITH THE APPROPRIATE UTILITY COMPANY PRIOR TO CONSTRUCTION.
4. FINAL LOCATION OF ELECTRICAL SERVICE TO BE DETERMINED BY POWER COMPANY.
5. EXISTING FIRE CISTERN SHALL BE DISCONTINUED, CRUSHED, & FILLED.
6. INSTALL A NEW, 30,000 GALLON FIRE CISTERN (CHASE PRECAST OR EQUAL) FITTED WITH AN ACCESS HATCH, VENT, FILL AND SUCTION PIPE AND FLOAT GAUGE (PER THE STOW FIRE PROTECTION CISTERN REGULATIONS).
7. THE PROPOSED UTILITY AND ACCESS EASEMENTS SHALL REMAIN IN EFFECT FOR THE LIFETIME OF THE PROPOSED PLANTATION II BUILDING.
8. CONTRACTOR TO FURNISH & INSTALL ALL FITTINGS, VALVES, AND APPURTENANCES TO INSTALL THE PROPOSED WATER MAIN AND SEWER FORCE MAIN.



Consultant:

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Architect of Record: The Architectural Team

Drawn: RWP

Checked: GSR

Scale: 1" = 30'

Key Plan:

Project Name:
PLANTATION APARTMENTS I & II
Plantation II

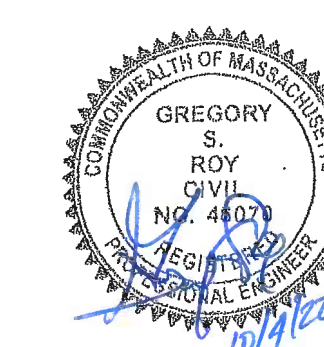
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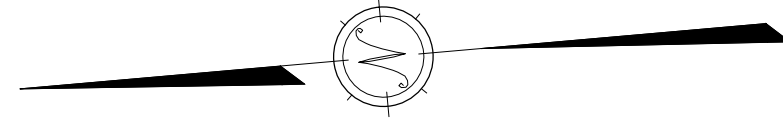
Sheet Name:
UTILITIES PLAN

Project Number:
4644-2

Issue Date:
August 29, 2022

Sheet Number:
C4.0



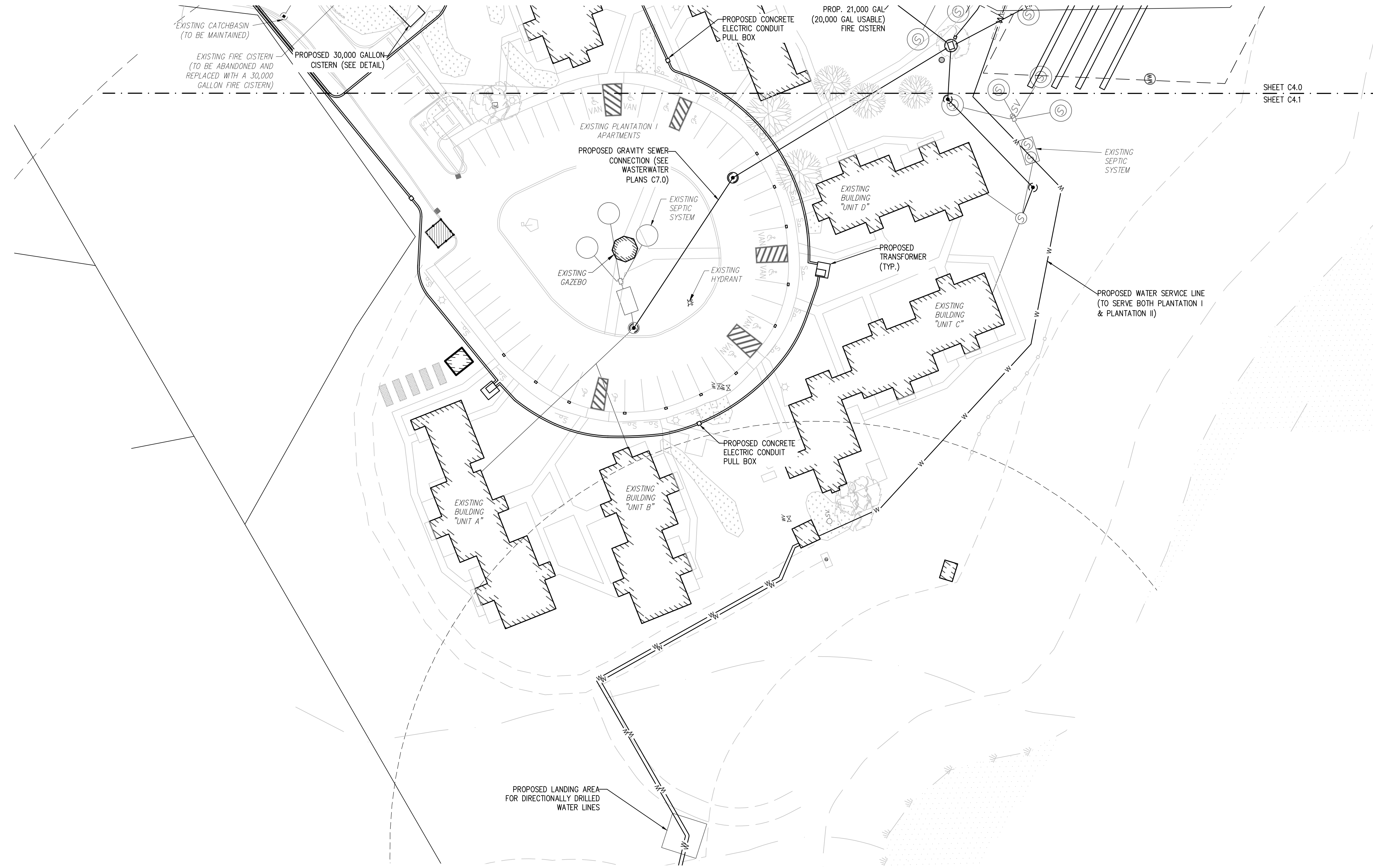


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Drawn: RWP

Checked: GSR

Scale: 1"=30'

Key Plan:

Project Name:

**PLANTATION APARTMENTS I & II
PLANTATION I**

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Sheet Name:

UTILITIES PLAN 2

Project Number:

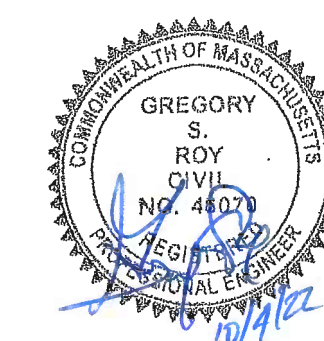
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Drawn: RWP

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Scale: 1" = 30'

Key Plan:

Project Name:

PLANTATION APARTMENTS I & II
Plantation II

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Stow, Ma 01775

Sheet Name:

EROSION CONTROL PLAN

Project Number:

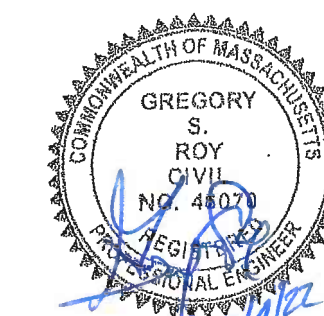
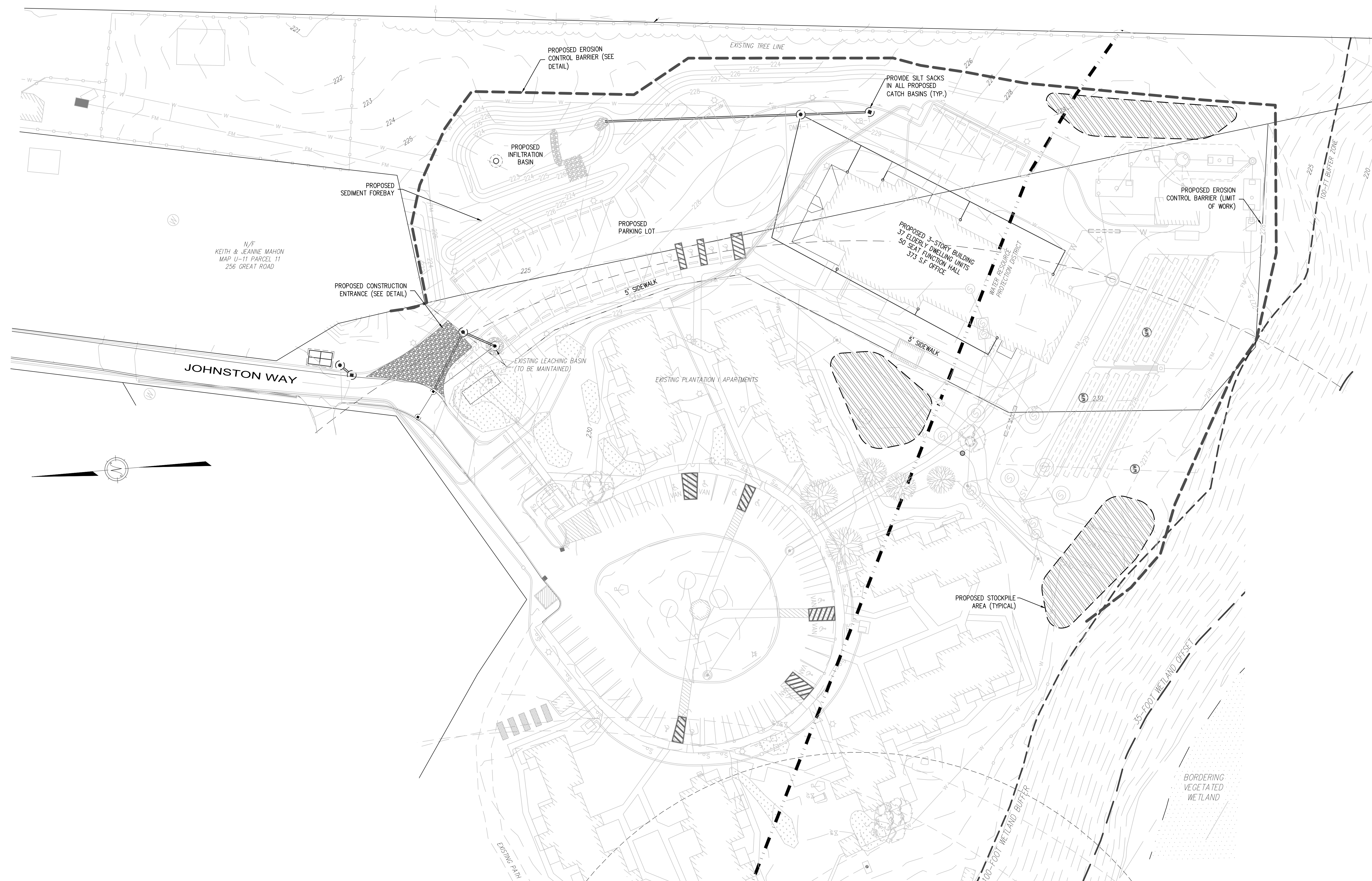
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1/13/22	ISSUED FOR CONSTRUCTION
8/29/22	REV. PER DEP COMMENTS
9/22/22	

Architect of Record: The Architectural Team

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Scale: 1"=60'

Key Plan:

Project Name:

PLANTATION APARTMENTS I & II
Plantation II

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Sheet Name:

WATER SYSTEM PLAN

Project Number:

4644-2

Issue Date:

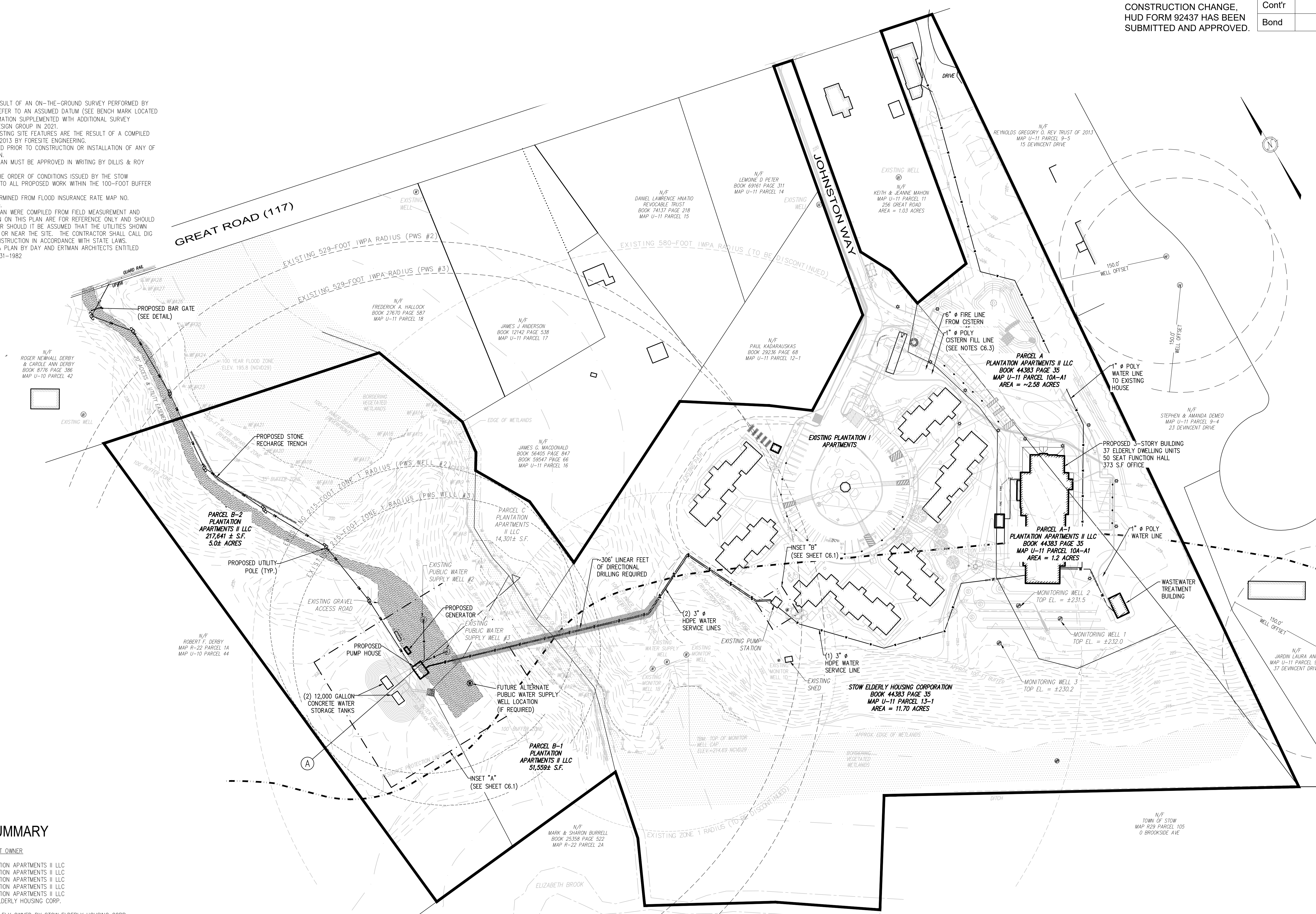
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C6.0

GENERAL NOTES:

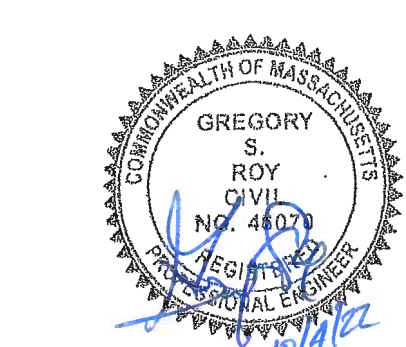
1. TOPOGRAPHIC INFORMATION IS THE RESULT OF AN ON-THE-GROUND SURVEY PERFORMED BY FORESITE ENGINEERING. ELEVATIONS REFER TO AN ASSUMED DATUM (SEE BENCH MARK LOCATED ON PLOT PLAN). TOPOGRAPHIC INFORMATION SUPPLEMENTED WITH ADDITIONAL SURVEY PERFORMED BY DILLIS & ROY CIVIL DESIGN GROUP IN 2021.
2. PROPERTY LINE AND LOCATION OF EXISTING SITE FEATURES ARE THE RESULT OF A COMPILED PLANS AND A PLAN OF LAND DATED 2013 BY FORESITE ENGINEERING.
3. PROPERTY LINES SHALL BE DETERMINED PRIOR TO CONSTRUCTION OR INSTALLATION OF ANY OF THE PROPOSED IMPROVEMENTS HEREON.
4. ANY DEVIATIONS FROM THE DESIGN PLAN MUST BE APPROVED IN WRITING BY DILLIS & ROY CIVIL DESIGN GROUP, INC.
5. THE CONTRACTOR SHALL REFER TO THE ORDER OF CONDITIONS ISSUED BY THE STOW CONSERVATION COMMISSION RELATIVE TO ALL PROPOSED WORK WITHIN THE 100-FOOT BUFFER ZONE.
6. FEMA 100-YR FLOOD ZONE WAS DETERMINED FROM FLOOD INSURANCE RATE MAP NO. 250170C061E EFFECTIVE JUNE 4, 2010.
7. EXISTING UTILITIES SHOWN ON THIS PLAN WERE COMPILED FROM FIELD MEASUREMENT AND RECORD PLANS. THE UTILITIES SHOWN ON THIS PLAN ARE FOR REFERENCE ONLY AND SHOULD NOT BE ASSUMED TO BE CORRECT NOR SHOULD IT BE ASSUMED THAT THE UTILITIES SHOWN ARE THE ONLY UTILITIES LOCATED ON OR NEAR THE SITE. THE CONTRACTOR SHALL CALL DIG SAFE 1-888-DIG-SAFE PRIOR TO CONSTRUCTION IN ACCORDANCE WITH STATE LAWS.
8. GROUNDWATER CONTOURS REFER TO A PLAN BY DAY AND ERTMAN ARCHITECTS ENTITLED "WATER AND SEWER PLAN" DATED 8-31-1982.



FACILITY LAND SUMMARY

PARCEL	CURRENT OWNER
A	PLANTATION APARTMENTS II LLC
A-1	PLANTATION APARTMENTS II LLC
B-1	PLANTATION APARTMENTS II LLC
B-2	PLANTATION APARTMENTS II LLC
C	PLANTATION APARTMENTS II LLC
MAP U-11, PARCEL 13-1	STOW ELDERLY HOUSING CORP.

*PLANTATION APARTMENTS II LLC IS SOLELY OWNED BY STOW ELDERLY HOUSING CORP.



NO DEVIATION FROM THE CONTRACT PLANS AND SPECIFICATIONS CAN BE MADE UNTIL A REQUEST FOR CONSTRUCTION CHANGE, HUD FORM 92437 HAS BEEN SUBMITTED AND APPROVED.

Arch	
Owner	
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Bond	

tat
the architectural team

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Consultant:

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CIVIL DESIGN GROUP

CIVIL ENGINEERS LAND SURVEYORS WETLAND CONSULTANTS
MAIN STREET, SUITE 1 LUNENBURG, MA 01462 PHONE: (978) 779-6099 www.dillisandroy.com

Revision:

DATE	EDITS PER COMMENTS
5/22/17	EDITS PER COMMENTS
8/8/17	FIRE CISTERN AND PATH WIDTH EDITS
4/27/18	UPDATED SITE LAYOUT
9/26/18	UPDATED SITE LAYOUT
10/26/18	REV. PER TOWN COMMENTS
11/14/18	REV. PER FIRE DEPT.
8/10/21	REV. PER NEW WELL LAYOUT
1/13/22	DESIGN DEVELOPMENT
8/29/22	ISSUED FOR CONSTRUCTION

Architect of Record: The Architectural Team

Drawn: RWP

Checked: GSR

Scale: 1"=30'

Key Plan:

Project Name:

PLANTATION APARTMENTS I & II
Plantation II

Johnston Way
Stow, Ma 01775

Sheet Name:

WASTEWATER

Project Number:

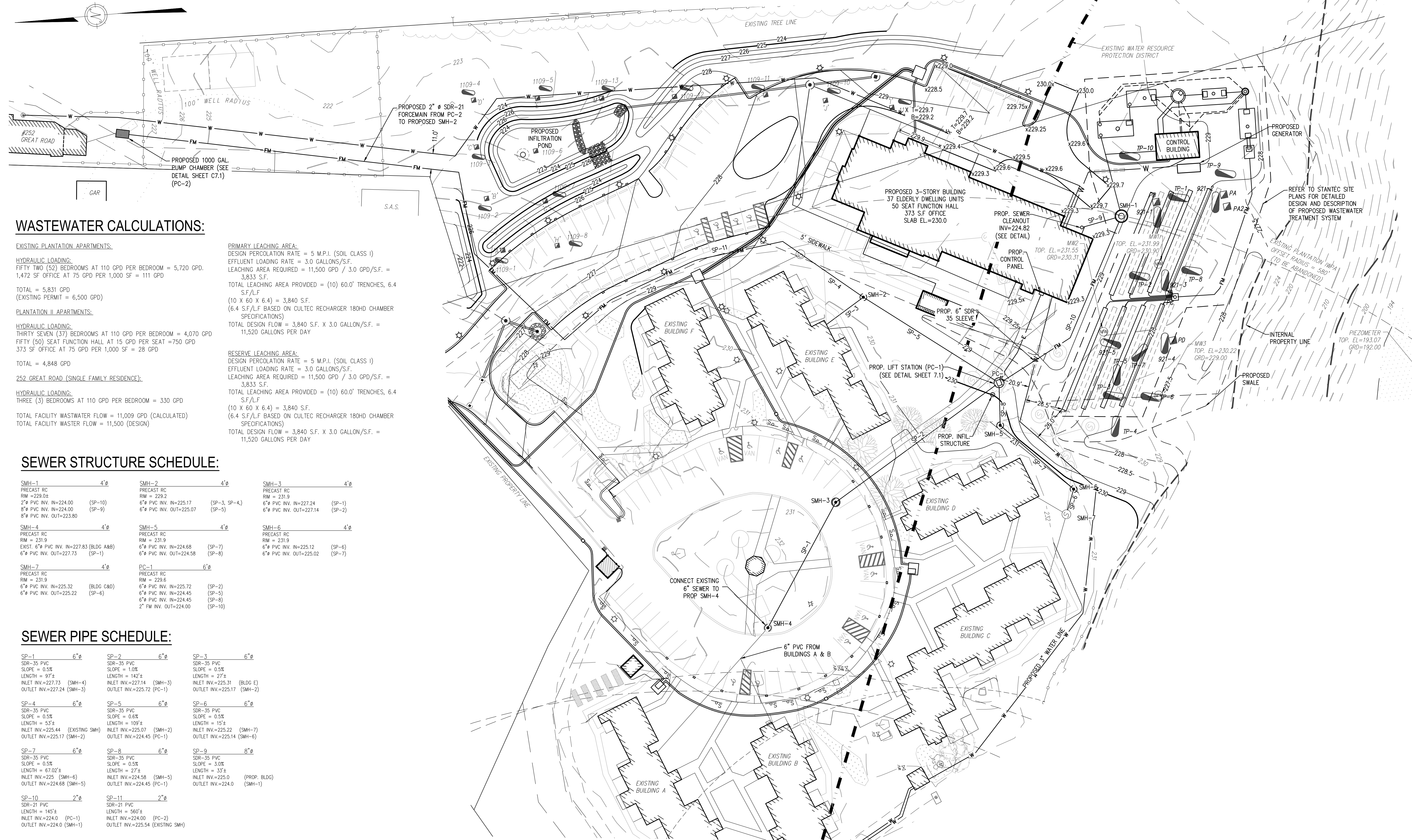
4644-2

Issue Date:

August 29, 2022

Sheet Number:

C7.0



WASTEWATER CALCULATIONS:

EXISTING PLANTATION APARTMENTS:

HYDRAULIC LOADING:
FIFTY TWO (52) BEDROOMS AT 110 GPD PER BEDROOM = 5,720 GPD.
1,472 SF OFFICE AT 75 GPD PER 1,000 SF = 111 GPD

TOTAL = 5,831 GPD
(EXISTING PERMIT = 6,500 GPD)

PLANTATION II APARTMENTS:

HYDRAULIC LOADING:
THIRTY SEVEN (37) BEDROOMS AT 110 GPD PER BEDROOM = 4,070 GPD
FIFTY (50) SEAT FUNCTION HALL AT 15 GPD PER SEAT = 750 GPD
373 SF OFFICE AT 75 GPD PER 1,000 SF = 28 GPD

TOTAL = 4,848 GPD

252 GREAT ROAD (SINGLE FAMILY RESIDENCE):

HYDRAULIC LOADING:
THREE (3) BEDROOMS AT 110 GPD PER BEDROOM = 330 GPD

TOTAL FACILITY WASTEWATER FLOW = 11,009 GPD (CALCULATED)
TOTAL FACILITY WASTER FLOW = 11,500 (DESIGN)

PRIMARY LEACHING AREA:
DESIGN PERCOLATION RATE = 5 M.P.I. (SOIL CLASS I)
EFFLUENT LOADING RATE = 3.0 GALLONS/S.F.
LEACHING AREA REQUIRED = 11,500 GPD / 3.0 GPD/S.F. = 3,833 S.F.

TOTAL LEACHING AREA PROVIDED = (10) 60.0' TRENCHES, 6.4 S.F./F.
(10 X 60 X 6.4) = 3,840 S.F.

(6.4 S.F./F. BASED ON CULTREC RECHARGER 180HD CHAMBER SPECIFICATIONS)
TOTAL DESIGN FLOW = 3,840 S.F. X 3.0 GALLON/S.F. = 11,520 GALLONS PER DAY.

RESERVE LEACHING AREA:
DESIGN PERCOLATION RATE = 5 M.P.I. (SOIL CLASS I)
EFFLUENT LOADING RATE = 3.0 GALLONS/S.F.
LEACHING AREA REQUIRED = 11,500 GPD / 3.0 GPD/S.F. = 3,833 S.F.

TOTAL LEACHING AREA PROVIDED = (10) 60.0' TRENCHES, 6.4 S.F./F.
(10 X 60 X 6.4) = 3,840 S.F.

(6.4 S.F./F. BASED ON CULTREC RECHARGER 180HD CHAMBER SPECIFICATIONS)
TOTAL DESIGN FLOW = 3,840 S.F. X 3.0 GALLON/S.F. = 11,520 GALLONS PER DAY.

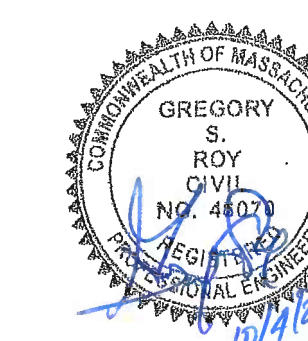
SEWER STRUCTURE SCHEDULE:

SMH-1 PRECAST RC RM = 229.04 2" PVC INV. IN=224.00 6" PVC INV. IN=224.00 6" PVC INV. OUT=223.80	SMH-2 PRECAST RC RM = 229.2 6" PVC INV. IN=225.17 6" PVC INV. OUT=225.07	SMH-3 PRECAST RC RM = 231.9 6" PVC INV. IN=227.24 6" PVC INV. OUT=227.14
SMH-4 PRECAST RC RM = 231.9 EXST. 6" PVC INV. IN=227.83 (BLDG A&B) 6" PVC INV. OUT=227.73	SMH-5 PRECAST RC RM = 231.9 6" PVC INV. IN=224.68 6" PVC INV. OUT=224.58	SMH-6 PRECAST RC RM = 231.9 6" PVC INV. IN=225.12 6" PVC INV. OUT=225.02
SMH-7 PRECAST RC RM = 231.9 6" PVC INV. IN=225.32 (BLDG C&D) 6" PVC INV. OUT=225.22	PC-1 PRECAST RC RM = 229.6 6" PVC INV. IN=225.72 6" PVC INV. IN=224.45 2" FM INV. OUT=224.00	

SEWER PIPE SCHEDULE:

SP-1 SDR-35 PVC SLOPE = 0.5% LENGTH = 97'± INLET INV.=227.73 (SMH-4) OUTLET INV.=227.24 (SMH-3)	SP-2 SDR-35 PVC SLOPE = 1.0% LENGTH = 142'± INLET INV.=227.14 (SMH-3) OUTLET INV.=225.72 (PC-1)	SP-3 SDR-35 PVC SLOPE = 0.5% LENGTH = 27'± INLET INV.=225.31 (BLDG E) OUTLET INV.=225.17 (SMH-2)
SP-4 SDR-35 PVC SLOPE = 0.5% LENGTH = 53'± INLET INV.=225.44 (EXISTING SMH) OUTLET INV.=225.17 (SMH-2)	SP-5 SDR-35 PVC SLOPE = 0.6% LENGTH = 109'± INLET INV.=225.07 (SMH-2) OUTLET INV.=224.45 (PC-1)	SP-6 SDR-35 PVC SLOPE = 0.5% LENGTH = 151'± INLET INV.=225.22 (SMH-7) OUTLET INV.=225.14 (SMH-6)
SP-7 SDR-35 PVC SLOPE = 0.5% LENGTH = 67.02'± INLET INV.=225 (SMH-6) OUTLET INV.=224.68 (SMH-5)	SP-8 SDR-35 PVC SLOPE = 0.5% LENGTH = 27'± INLET INV.=224.58 (SMH-5) OUTLET INV.=224.45 (PC-1)	SP-9 SDR-35 PVC SLOPE = 3.0% LENGTH = 33'± INLET INV.=225.0 (PROP. BLDG) OUTLET INV.=224.0 (SMH-1)
SP-10 SDR-21 PVC LENGTH = 145'± INLET INV.=224.0 (PC-1) OUTLET INV.=224.0 (SMH-1)	SP-11 SDR-21 PVC LENGTH = 560'± INLET INV.=224.00 (PC-2) OUTLET INV.=225.94 (EXISTING SMH)	

ISSUED FOR CONSTRUCTION



Consultant:

Revision:

Architect of Record:

Drawn: JS

Checked: AS

Scale: 1/8" = 1'-0"

Key Plan:

Project Name:
**PLANTATION
APARTMENTS I & II**

Plantation II

Johnston Way
Stow, MA 01775

Sheet Name:

OVERALL FLOOR PLANS

Project Number:

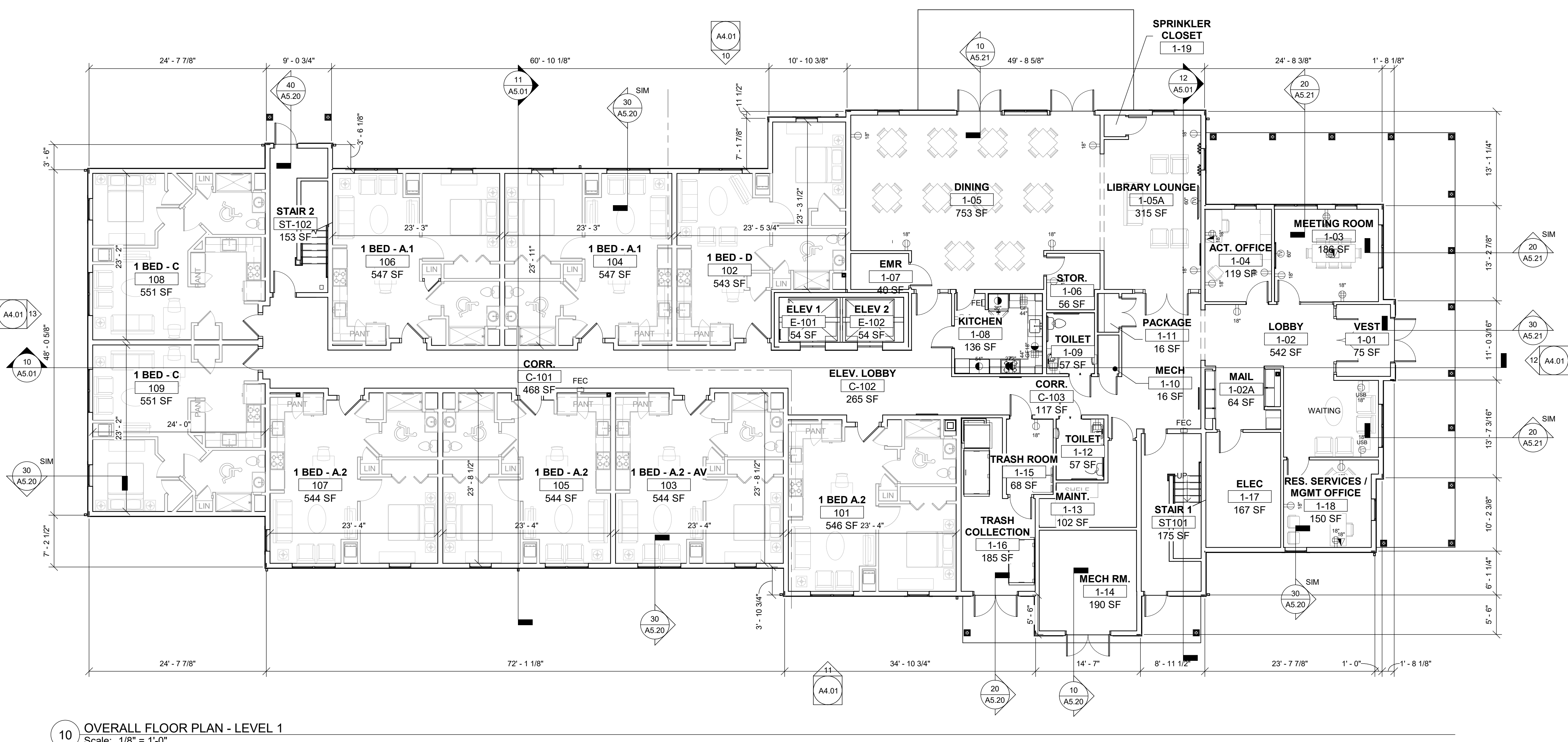
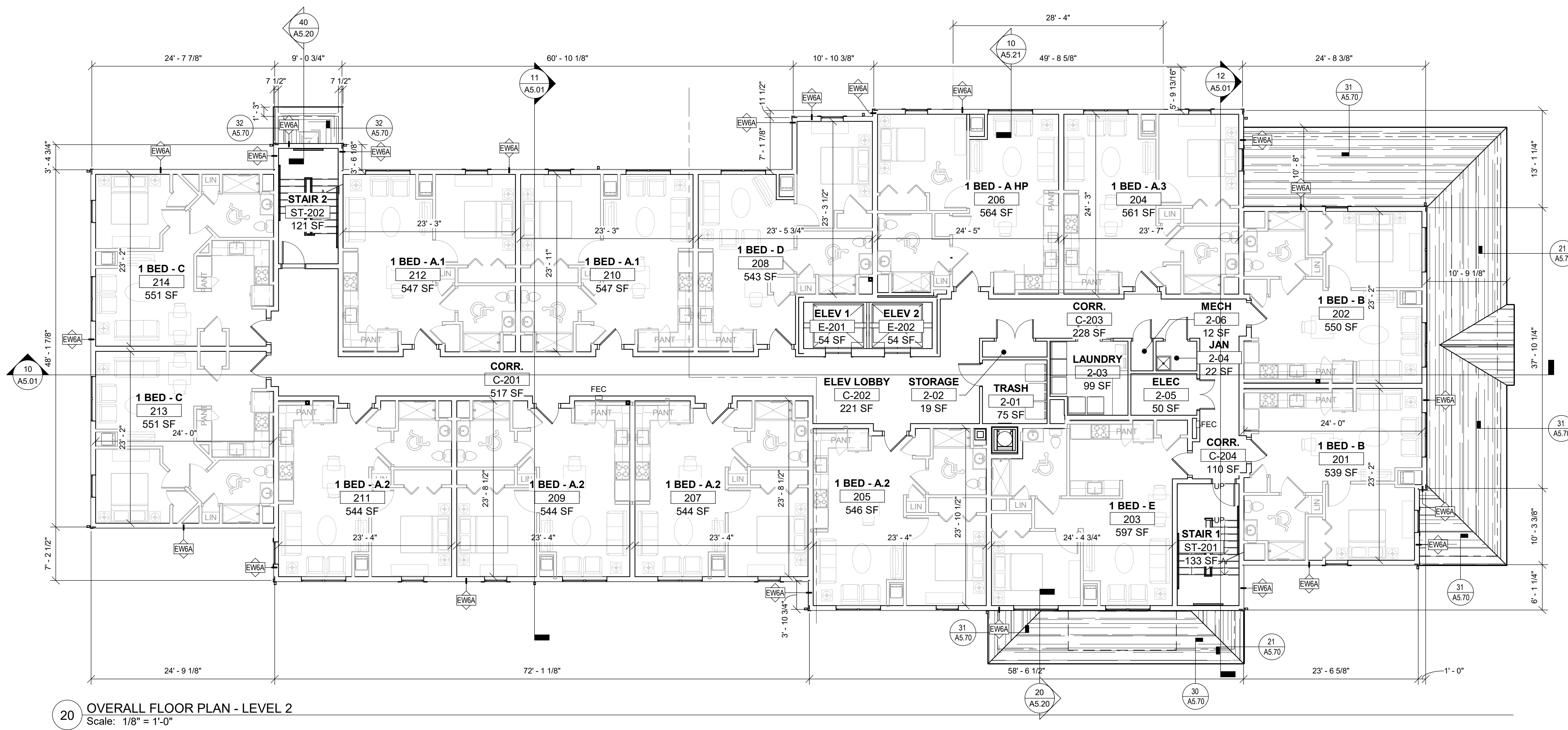
09152

Issue Date:

AUGUST 29, 2022

Sheet Number:

A1.01



Consultant:

Revision:

Architect of Record:

Drawn: JS

Checked: AS

Scale: 1/8" = 1'-0"

Key Plan:

Project Name:

**PLANTATION
 APARTMENTS I & II**

Plantation II

Johnston Way
 Stow, MA 01775

Sheet Name:

**GROUND FLOOR SLAB
 PLAN**

Project Number:

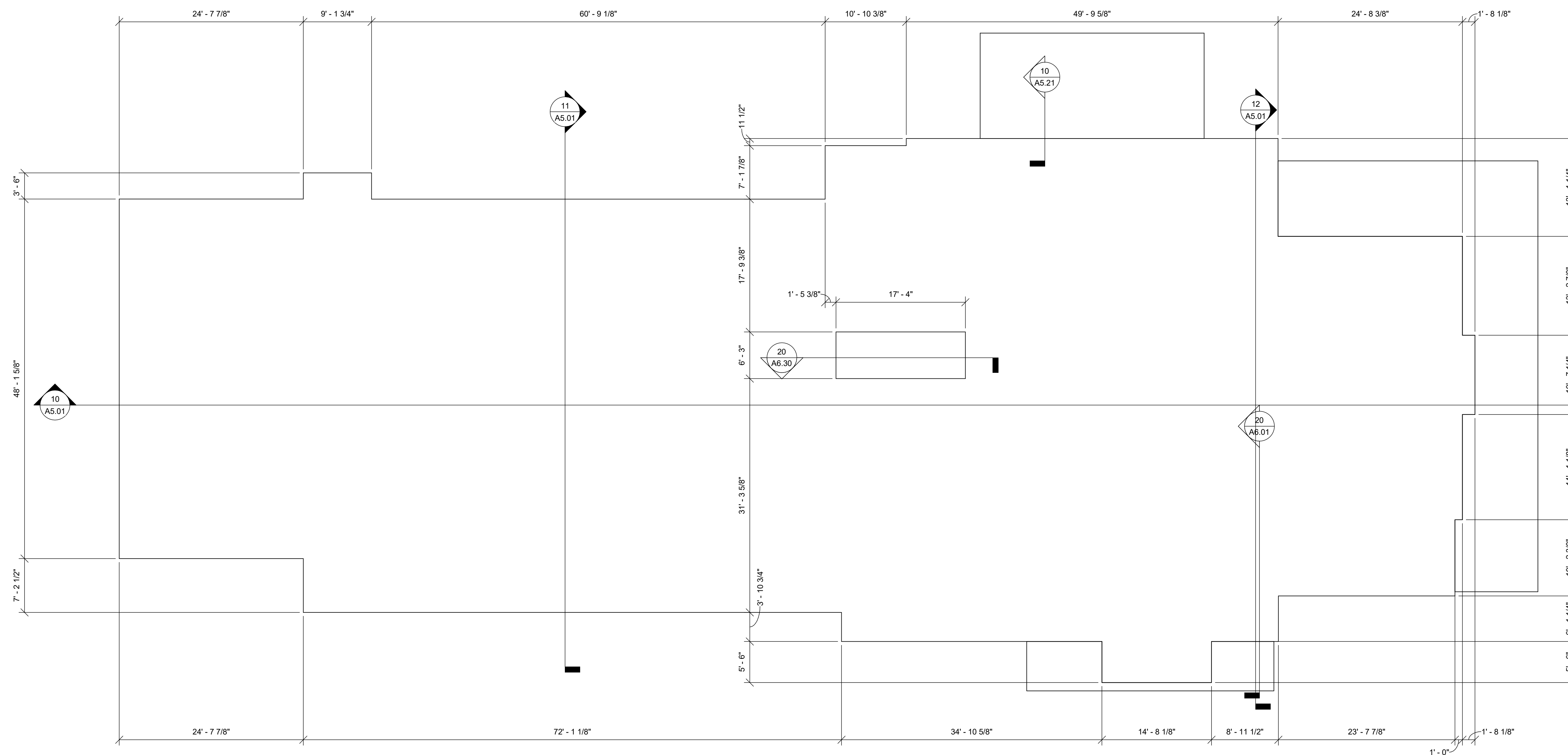
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Issue Date:

AUGUST 29, 2022

Sheet Number:

A1.01b

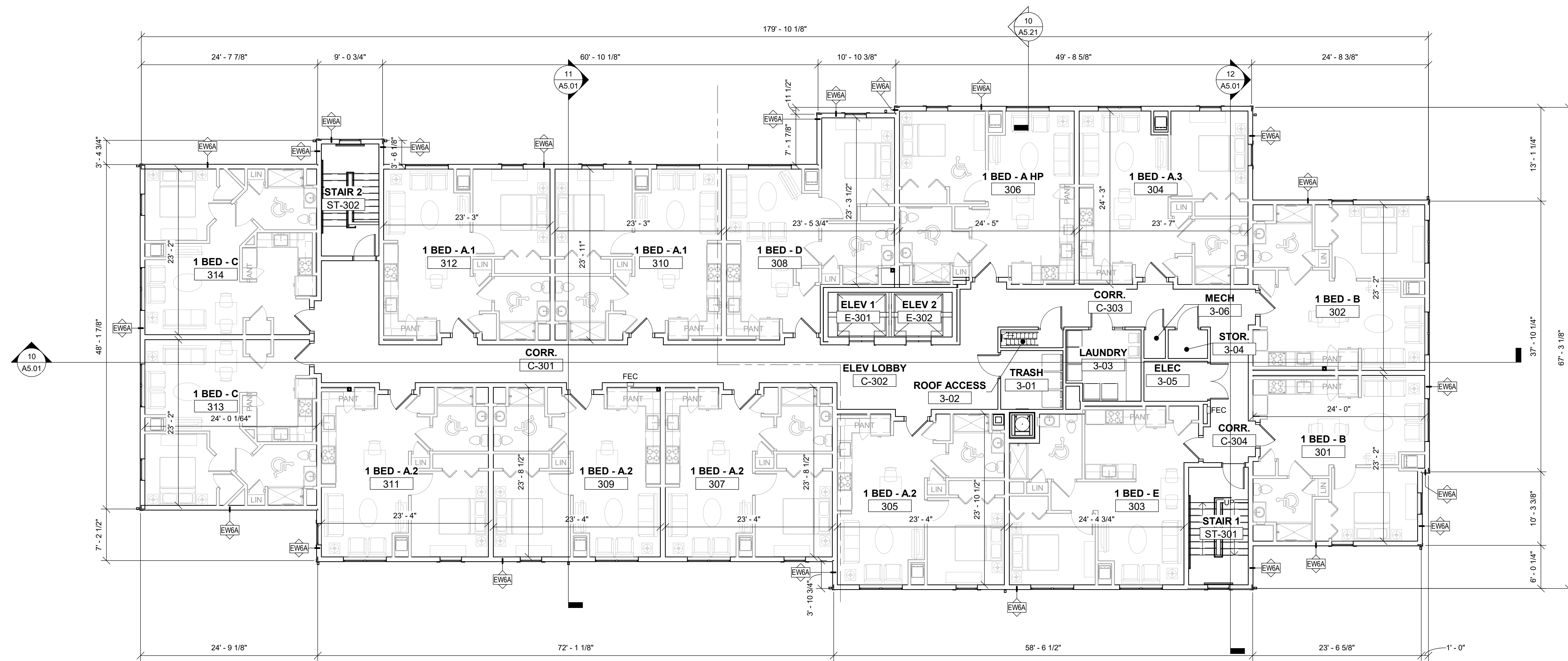
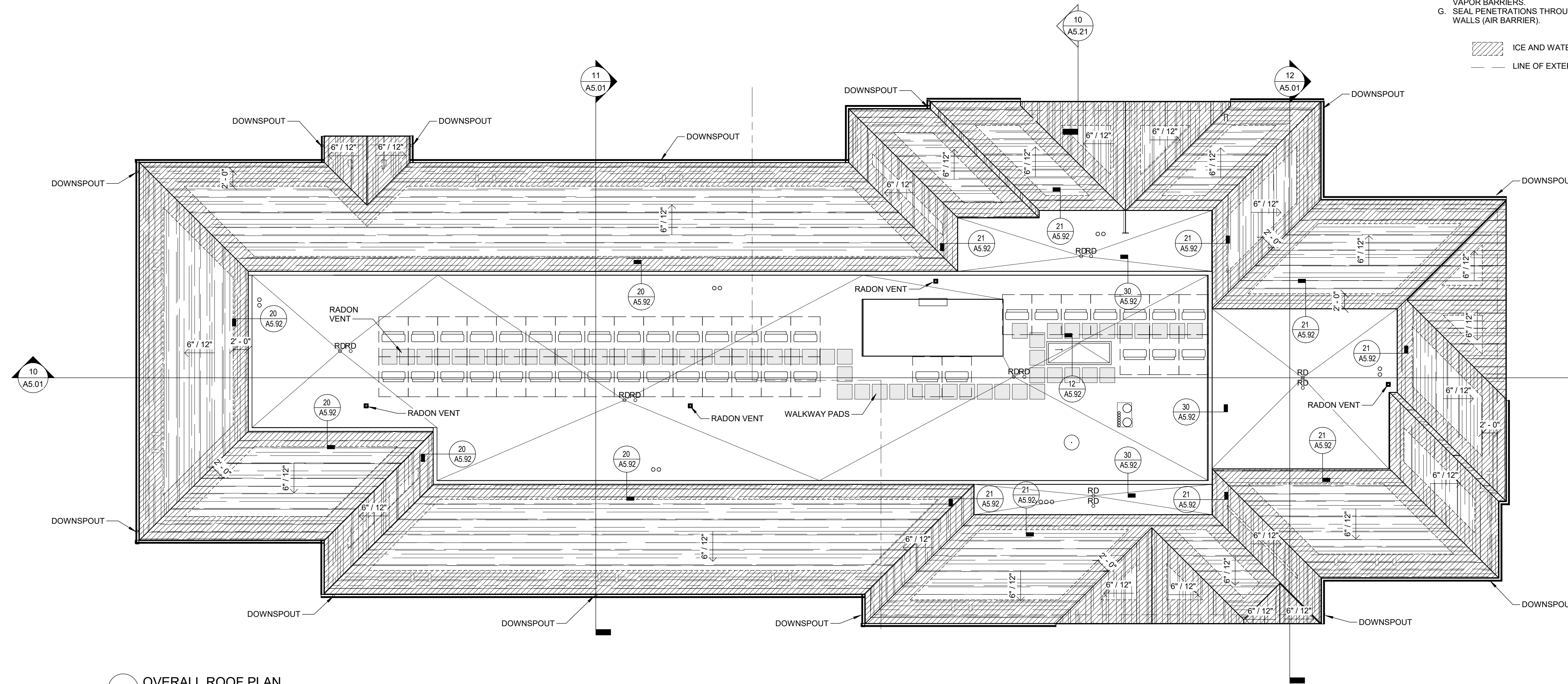


10 OVERALL SLAB PLAN - LEVEL 1
 Scale: 1/8" = 1'-0"

GENERAL NOTES - ROOF

- A. DIMENSIONS GIVEN ARE TO FINISH SURFACES UNLESS OTHERWISE NOTED.
- B. SOFFIT AND RIDGE VENT DIMENSIONS ARE FOR GENERAL PLANNING AND DO NOT REPRESENT EXACT DIMENSIONS. CONTRACTOR TO FOLLOW ROOF DETAILS.
- C. REFER TO FINISH SCHEDULE FOR CEILING FINISHES.
- D. MAINTAIN INTEGRITY OF RATED ROOF/CEILING AND FLOOR/CEILING ASSEMBLIES AT INTERSECTION WITH UNRATED PARTITIONS.
- E. WHERE WALL OR FLOOR ASSEMBLIES OF DIFFERENT RESISTANCE RATINGS ADJOIN, MAINTAIN THE INTEGRITY OF THE HIGHER RATED ASSEMBLY CONTINUOUS THROUGH CONCEALED SPACES.
- F. SEAL AND SECURE IN PLACE LAPS AND PENETRATIONS THROUGH AIR AND VAPOR BARRIERS.
- G. SEAL PENETRATIONS THROUGH FLOOR/CEILING, DEMISING AND CORRIDOR WALLS (AIR BARRIER).

ICE AND WATER SHIELD
 LINE OF EXTERIOR WALL BELOW



Consultant:

Revision:

Architect of Record:

Drawn: JS

Checked: AS

Scale: As indicated

Key Plan:

Project Name:

PLANTATION APARTMENTS I & II

Plantation II

Johnston Way
 Stow, MA 01775

Sheet Name:

OVERALL FLOOR PLANS

Project Number:

09152

Issue Date:

AUGUST 29, 2022

Sheet Number:

A1.02

Consultant:

Revision:

Architect of Record:

Drawn: JS

Checked: AS

Scale: As indicated

Key Plan:

Project Name:
PLANTATION APARTMENTS I & II

Plantation II

Johnston Way
 Stow, MA 01775

Sheet Name:

WASTEWATER TREATMENT PLANT PLANS & ELEVATIONS

Project Number:

09152

Issue Date:

AUGUST 29, 2022

Sheet Number:

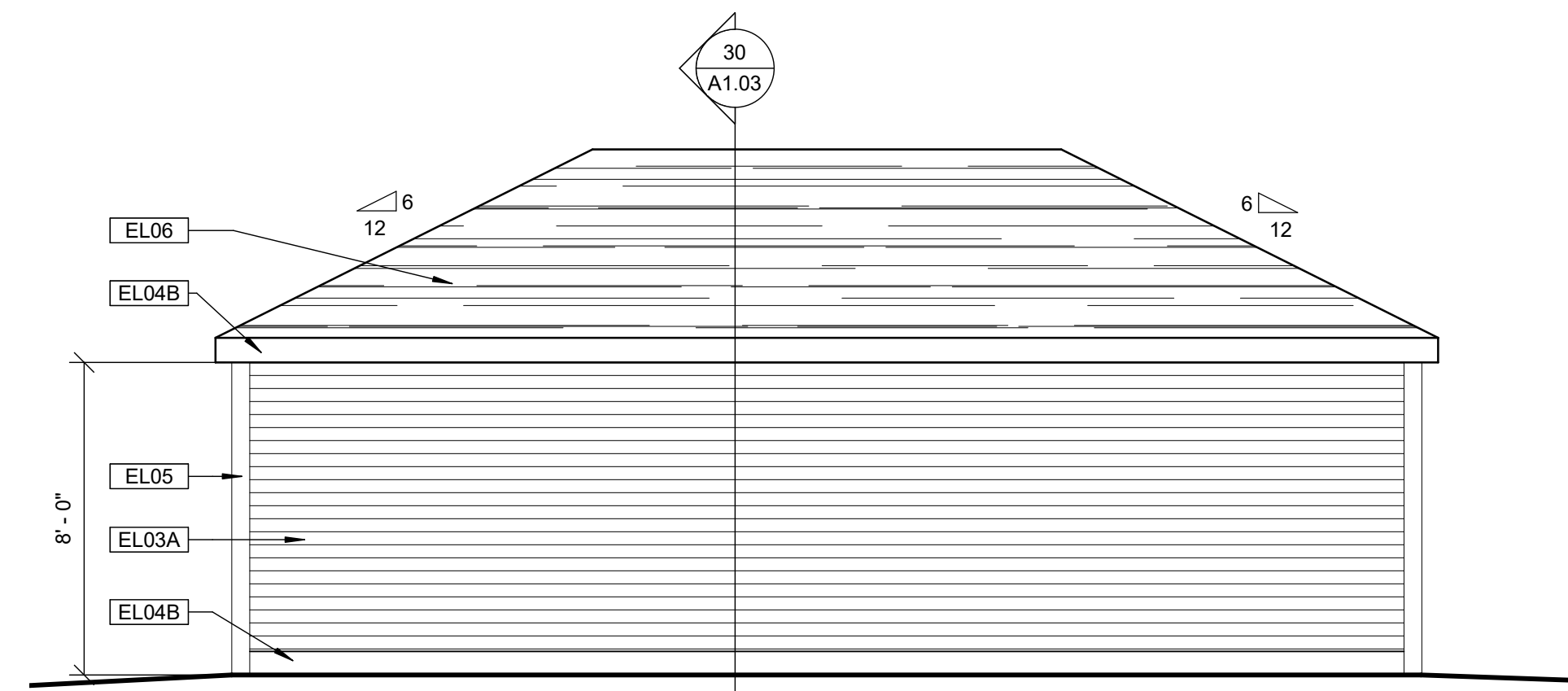
A1.03

KEYNOTE LEGEND - EXTERIOR ELEVATIONS

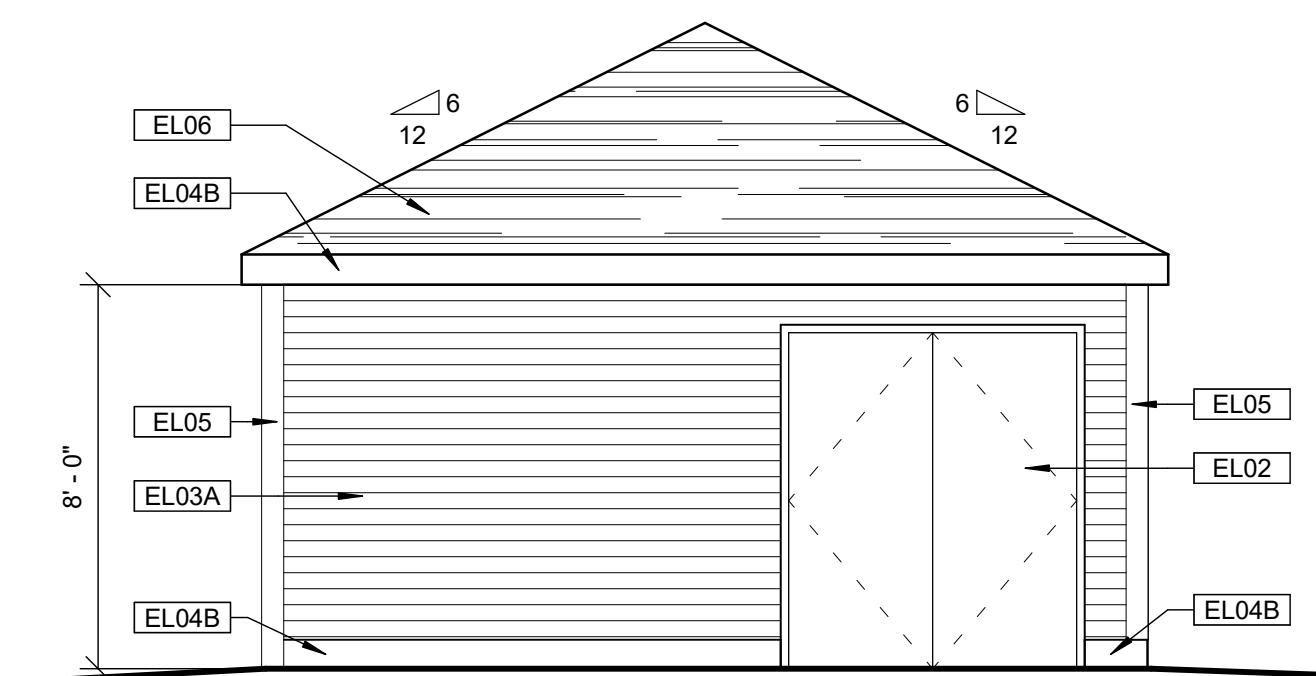
- EL02 DOOR. SEE SCHEDULE AND SPECIFICATIONS
- EL03A FIBER CEMENT LAP SIDING, JAMES HARDIE, COLOR #1
- EL04B FIBER CEMENT 5/4x8 SMOOTH TRIM BOARD, JAMES HARDIE, COLOR
- EL05 FIBER CEMENT 5/4x8 SMOOTH CORNER BOARD, JAMES HARDIE, COLOR
- EL06 ASPHALT SHINGLE ROOFING SYSTEM WITH UNDERLAYMENT. SEE SPECS. REFER TO ROOF PLANS

GENERAL NOTES - PLANS

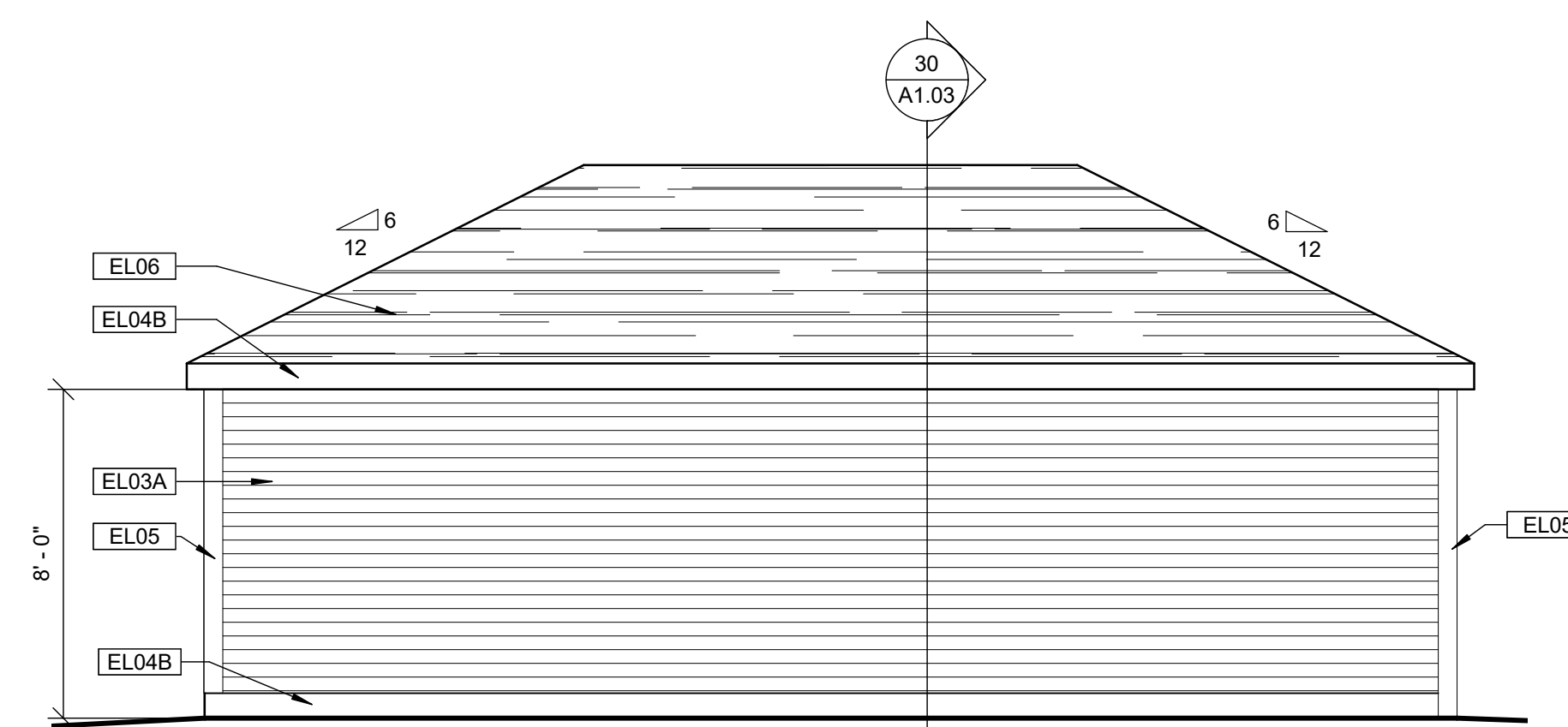
- A. ALL DIMENSIONS ARE TO FACE OF STUD OR FACE OF MASONRY UNLESS OTHERWISE NOTED.
- B. REFER TO ENLARGED UNIT PLANS FOR WALL ASSEMBLY TYPES AND DIMENSIONS.
- C. LCP & MP MUST BE LOCATED MIN. 18" FROM INSIDE CORNERS TO EDGE OF PANEL. PANELS TO BE MOUNTED WITHIN REQUIRED REACH RANGES.
- D. FOR PARTITION TYPES REFER TO DRAWINGS IN THE A3 SERIES.
- E. FOR ENLARGED KITCHEN AND BATH PLANS REFER TO DRAWINGS IN A7 SERIES.
- F. FOR FLOOR FINISHES REFER TO DRAWINGS IN A9 SERIES.
- G. PROVIDE BLOCKING AT LOCATION OF IN WALL CABLE PLATE AS SHOWN IN ELECTRICAL DRAWINGS.
- H. LOCATE ALL DOORS 4" FROM ADJACENT CORNER TO ACCOMMODATE CASING, UNLESS OTHERWISE NOTED. CENTER ALL DOORS ON CLOSET SPACES UNLESS SHOWN OTHERWISE.
- I. OR INTERIOR ELEVATIONS AND ENLARGED PLANS REFER TO A7 SERIES.



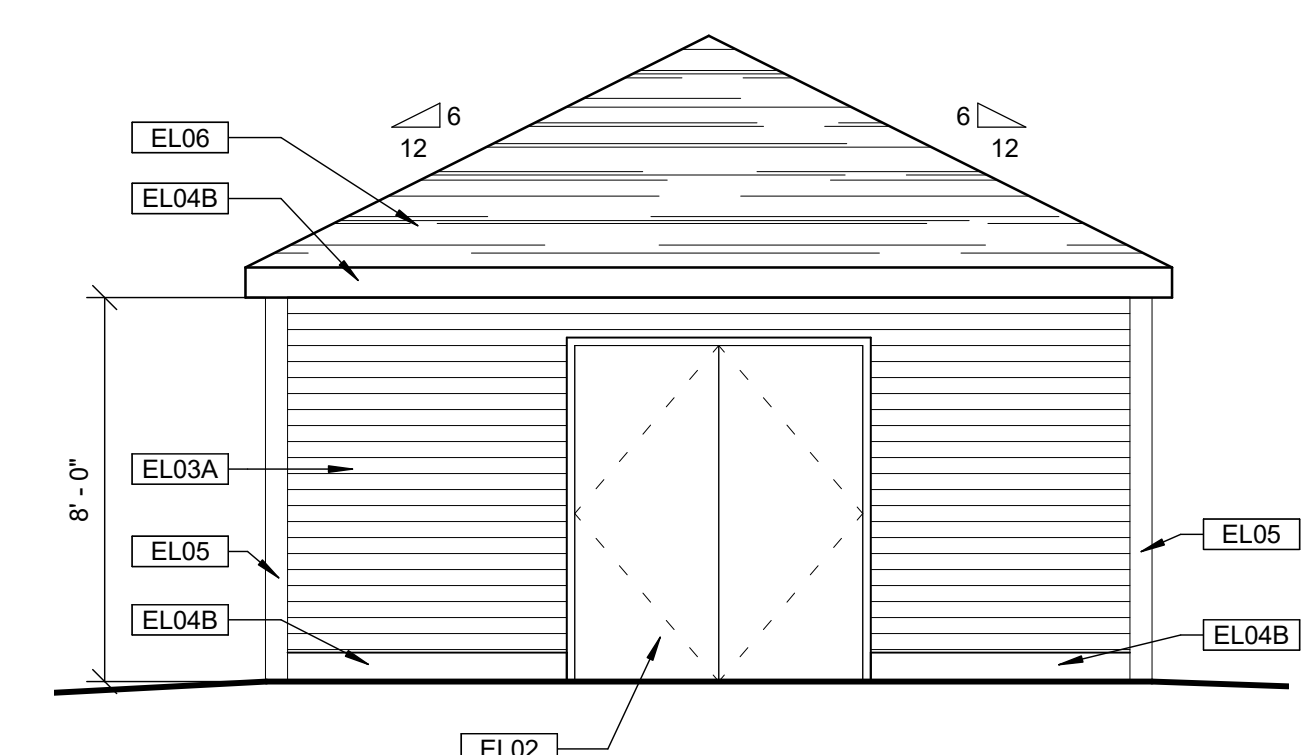
23 WWTP - WEST ELEVATION
 Scale: 1/4" = 1'-0"



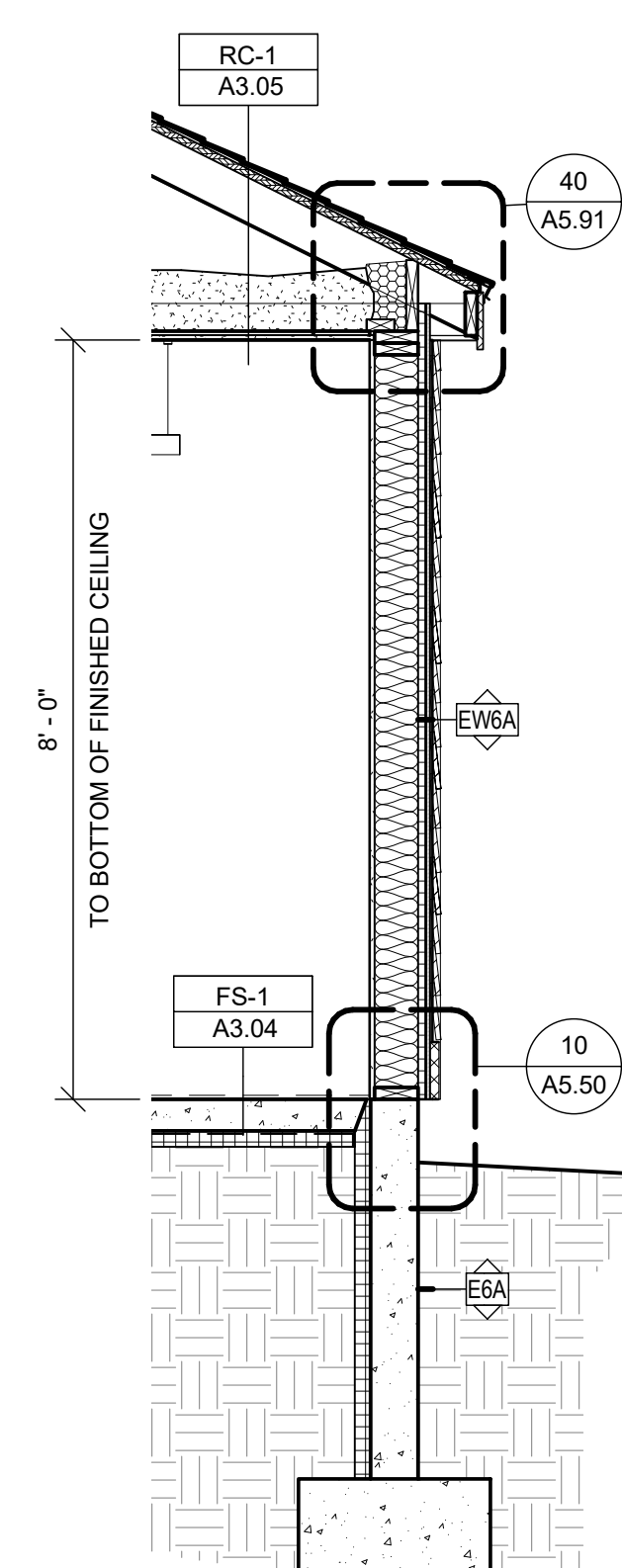
22 WWTP - SOUTH ELEVATION
 Scale: 1/4" = 1'-0"



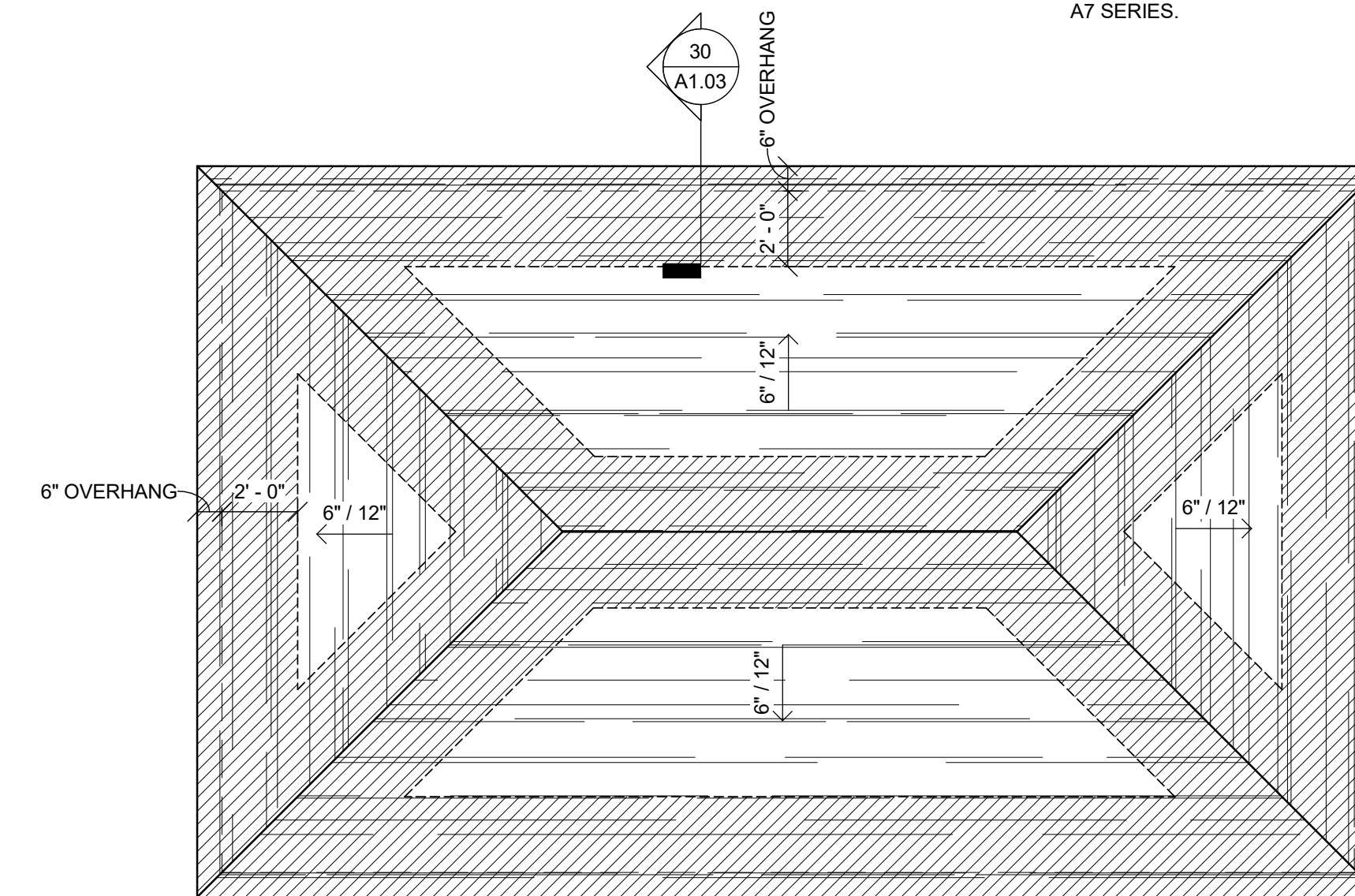
21 WWTP - EAST ELEVATION
 Scale: 1/4" = 1'-0"



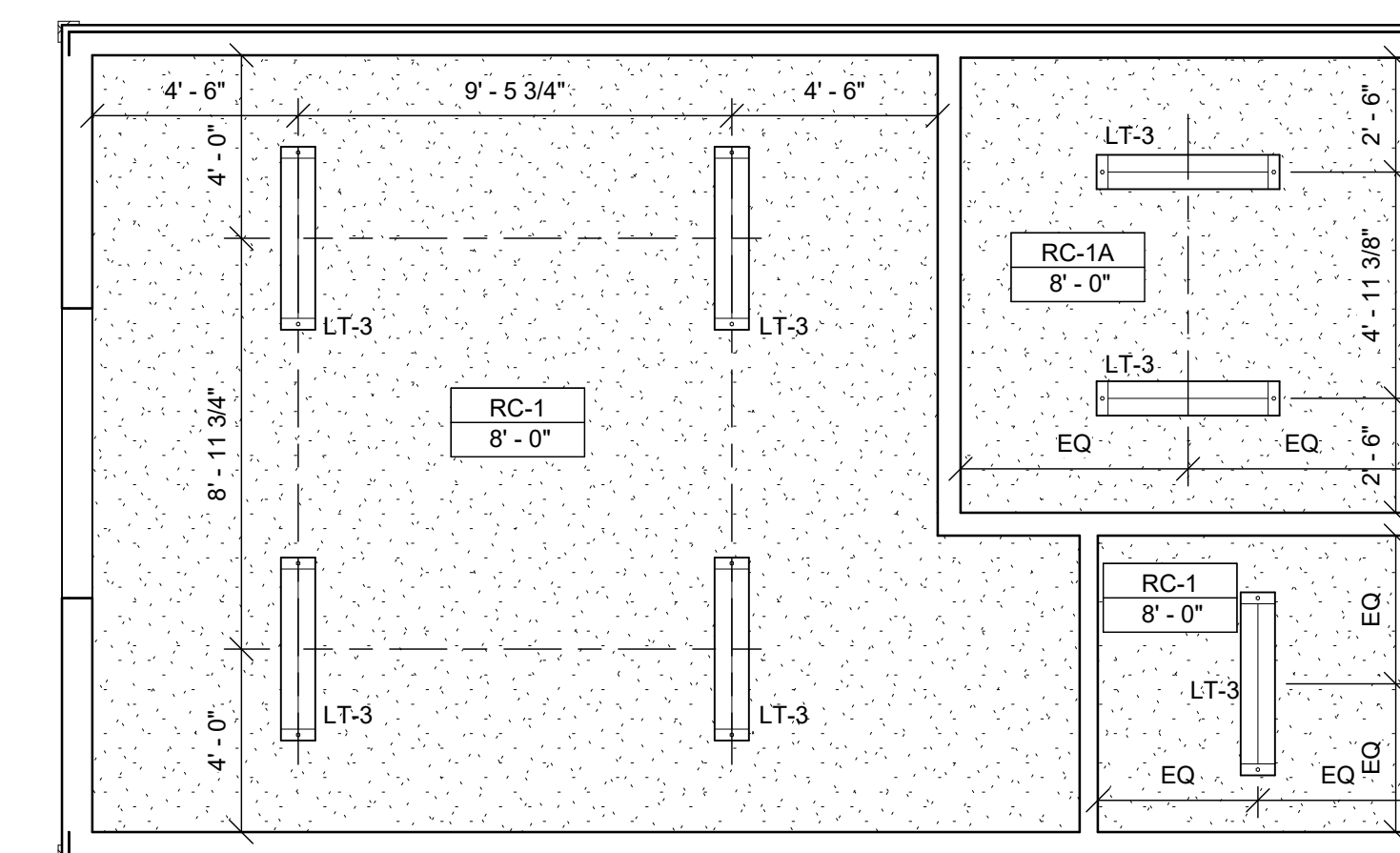
20 WWTP - NORTH ELEVATION
 Scale: 1/4" = 1'-0"



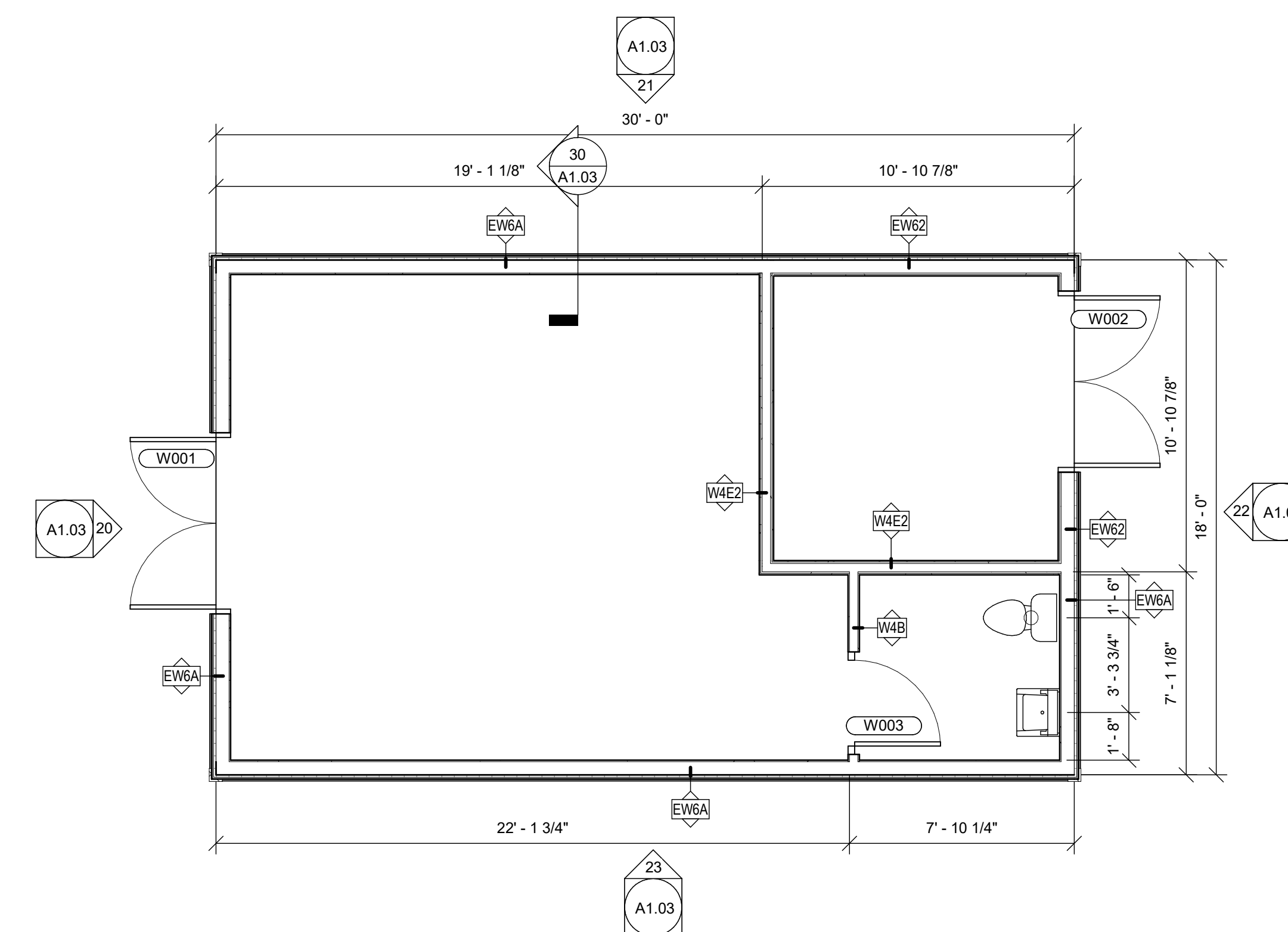
30 WWTP - TYPICAL WALL SECTION
 Scale: 1/2" = 1'-0"



12 WWTP - ROOF PLAN
 Scale: 1/4" = 1'-0"



11 REFLECTED CEILING PLAN - WWTP
 Scale: 1/4" = 1'-0"



10 OVERALL WWTP PLAN
 Scale: 1/4" = 1'-0"

Consultant:

Revision:

Architect of Record:

Drawn: JS

Checked: AS

Scale: 1/4" = 1'-0"

Key Plan:

Project Name:

**PLANTATION
 APARTMENTS I & II**

Plantation II

Johnston Way
 Stow, MA 01775

Sheet Name:

ENLARGED UNIT PLANS

Project Number:

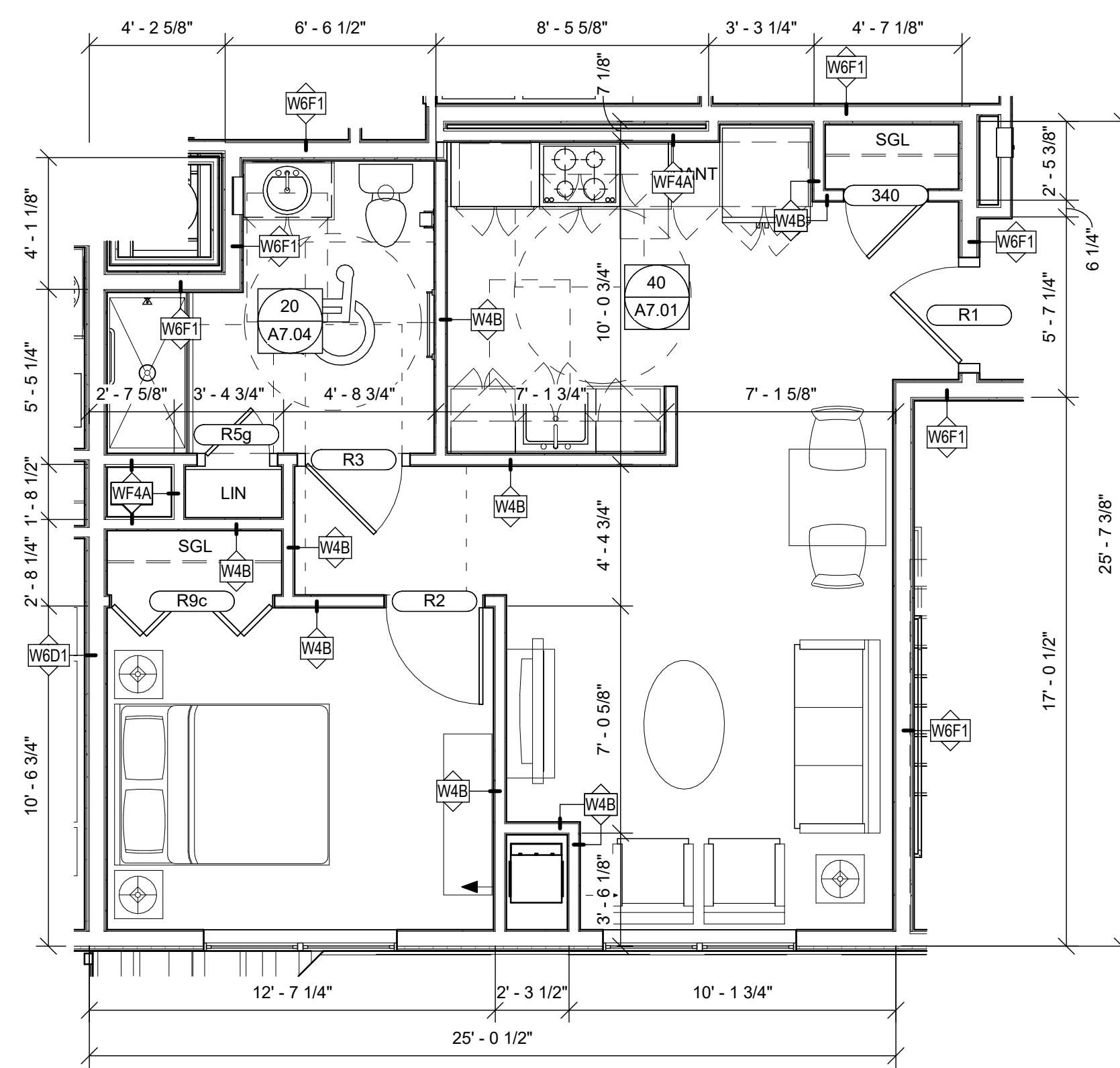
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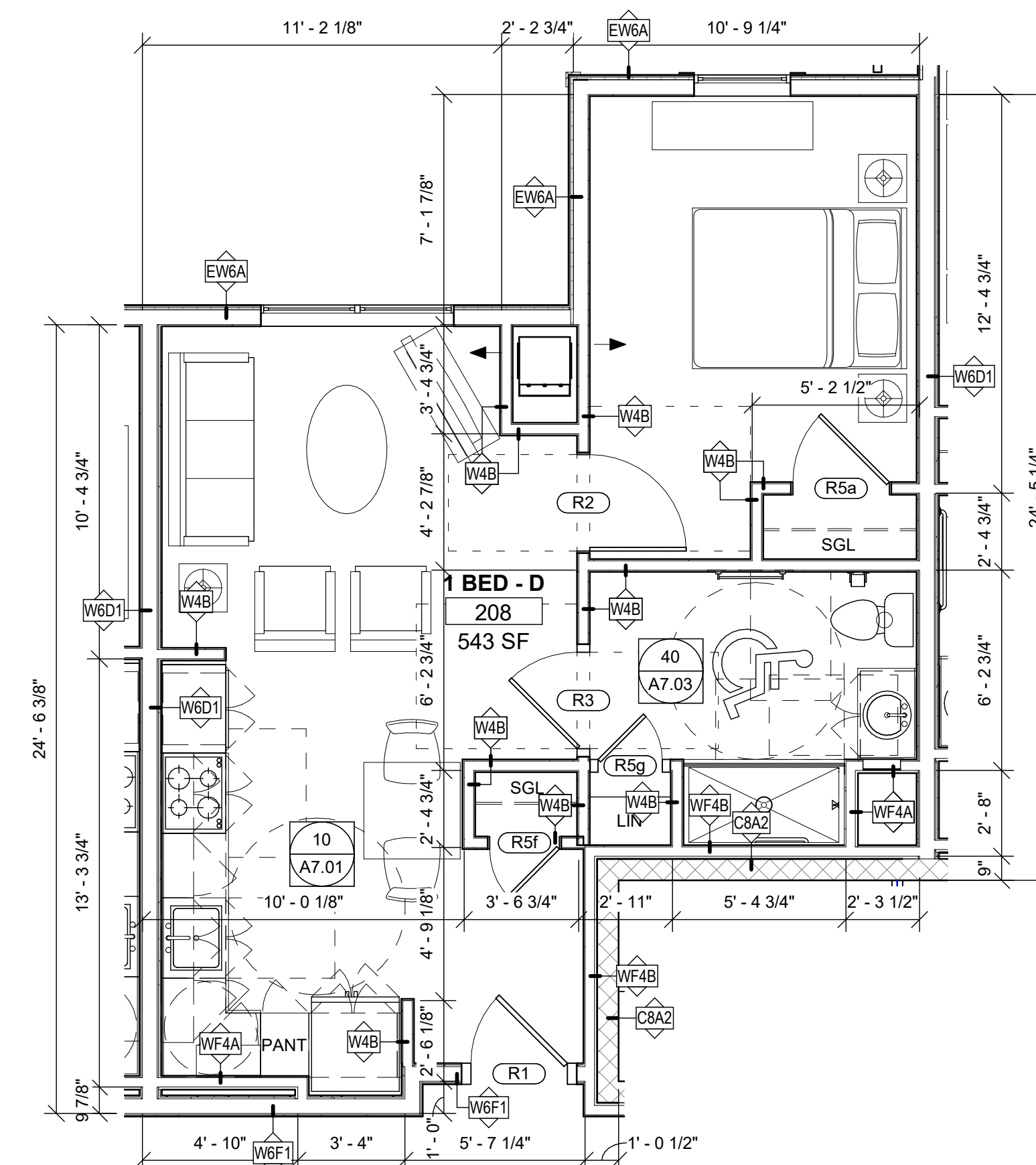
AUGUST 29, 2022

Sheet Number:

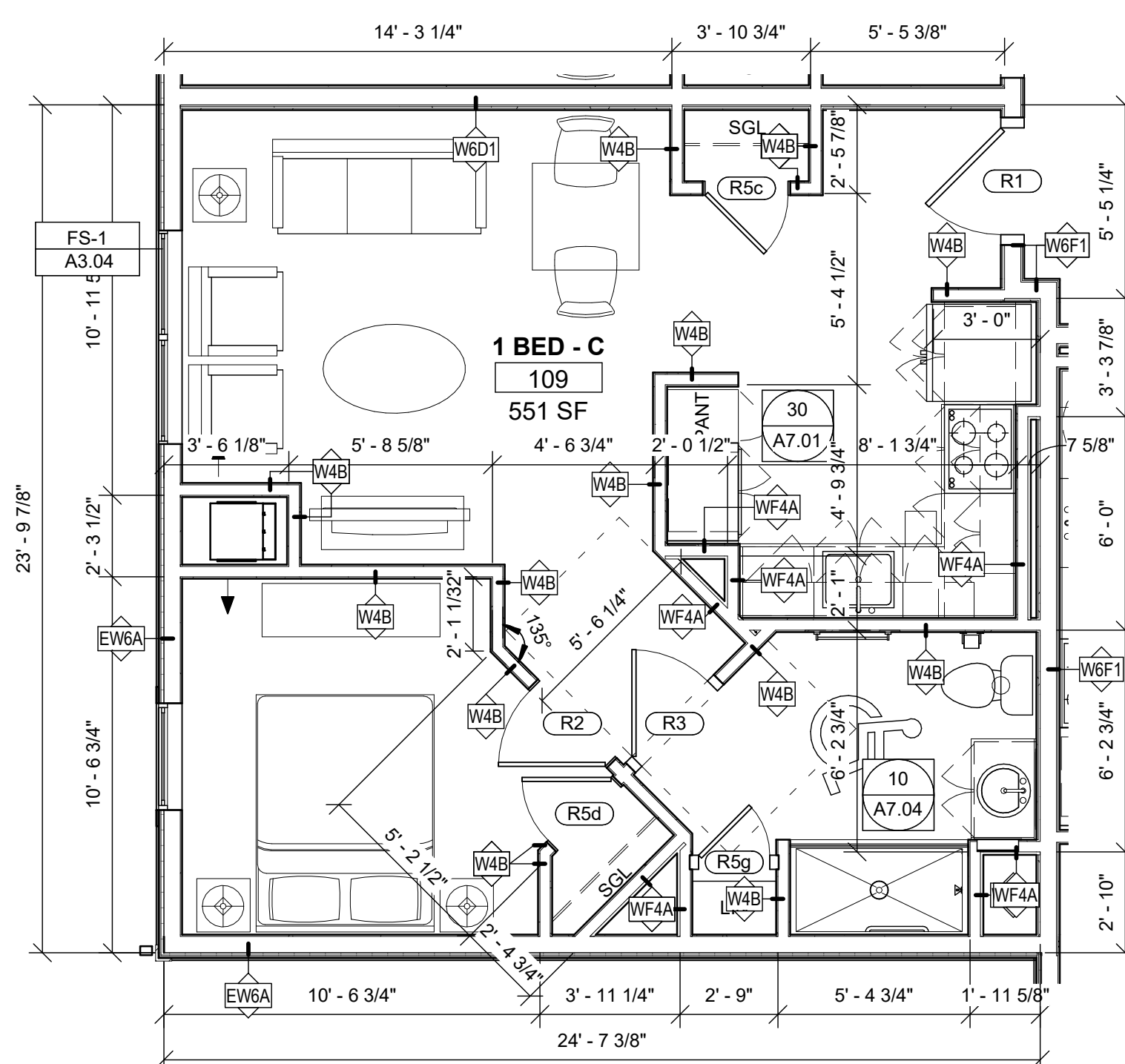
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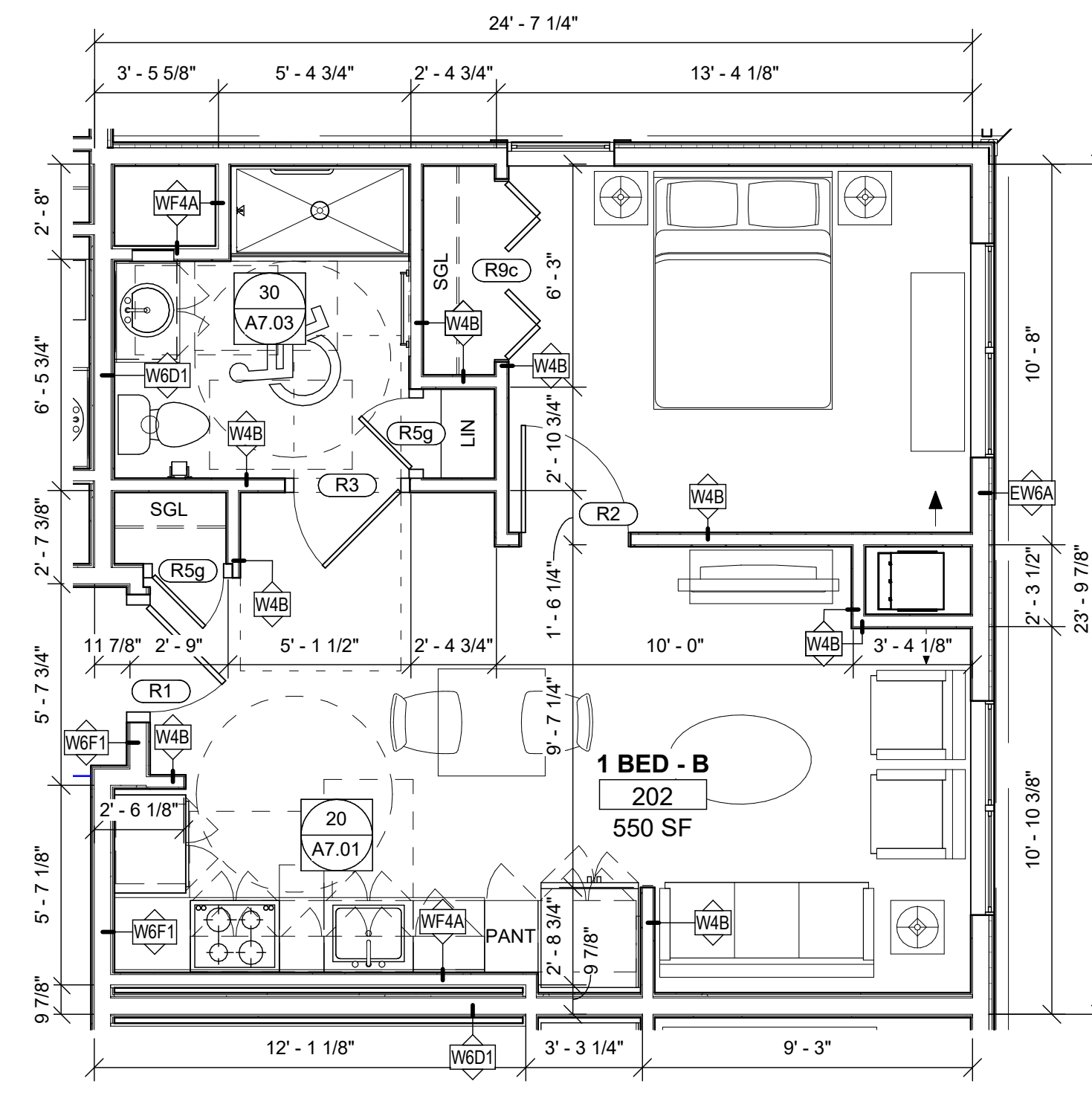
22 TYPICAL UNIT PLAN E
 Scale: 1/4" = 1'-0"



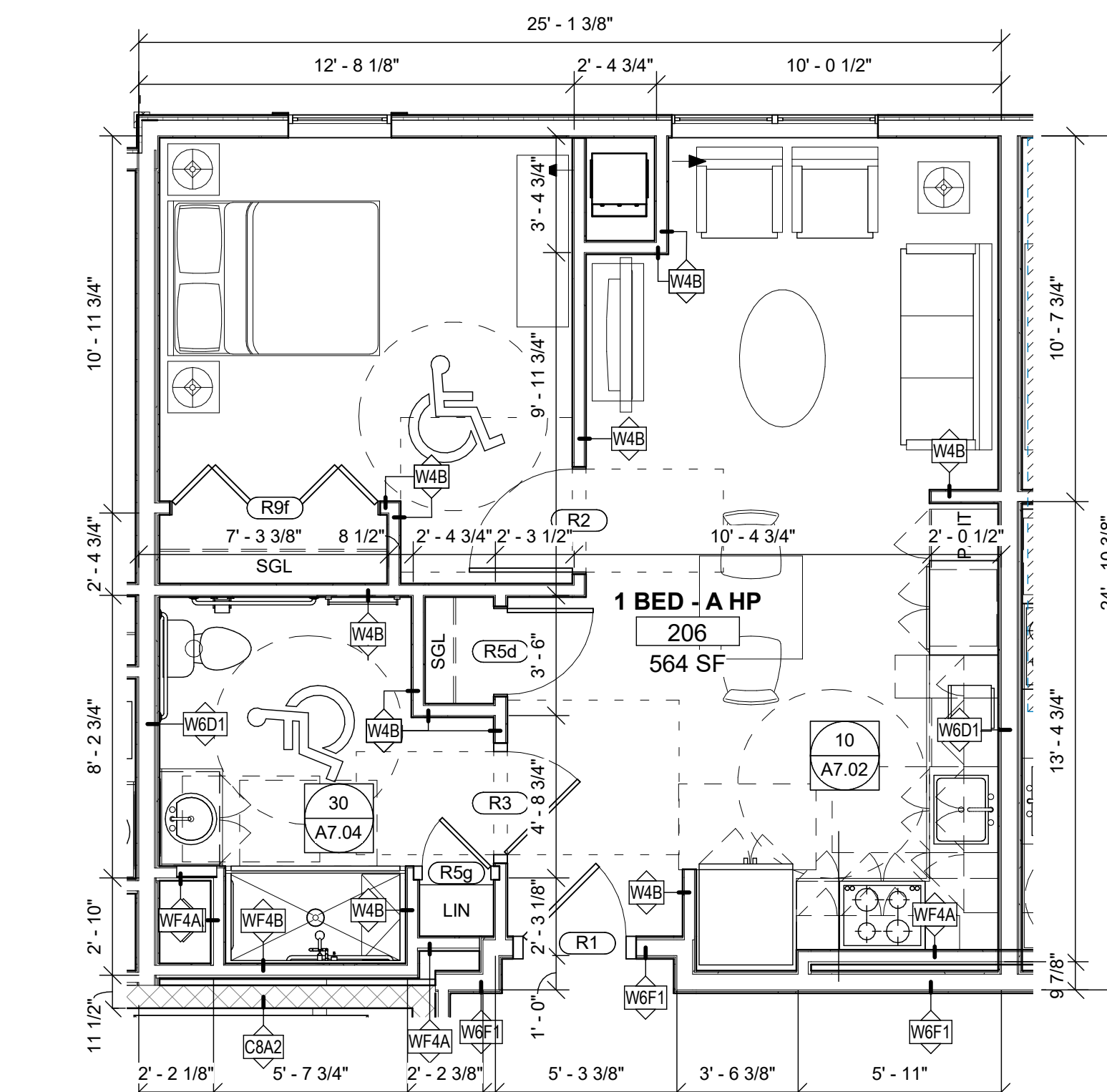
12 TYPICAL UNIT PLAN D
 Scale: 1/4" = 1'-0"



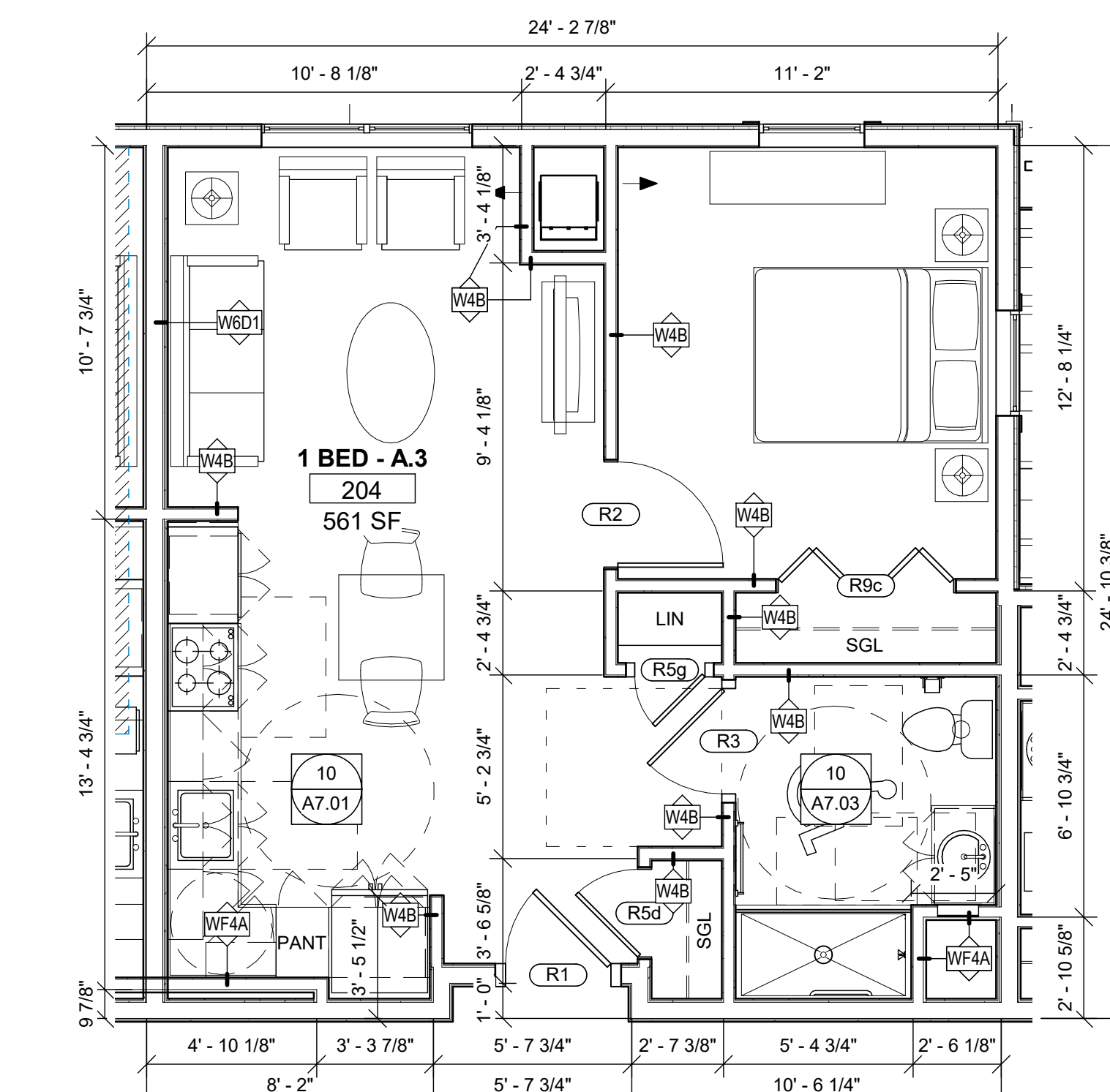
31 TYPICAL UNIT PLAN C
 Scale: 1/4" = 1'-0"



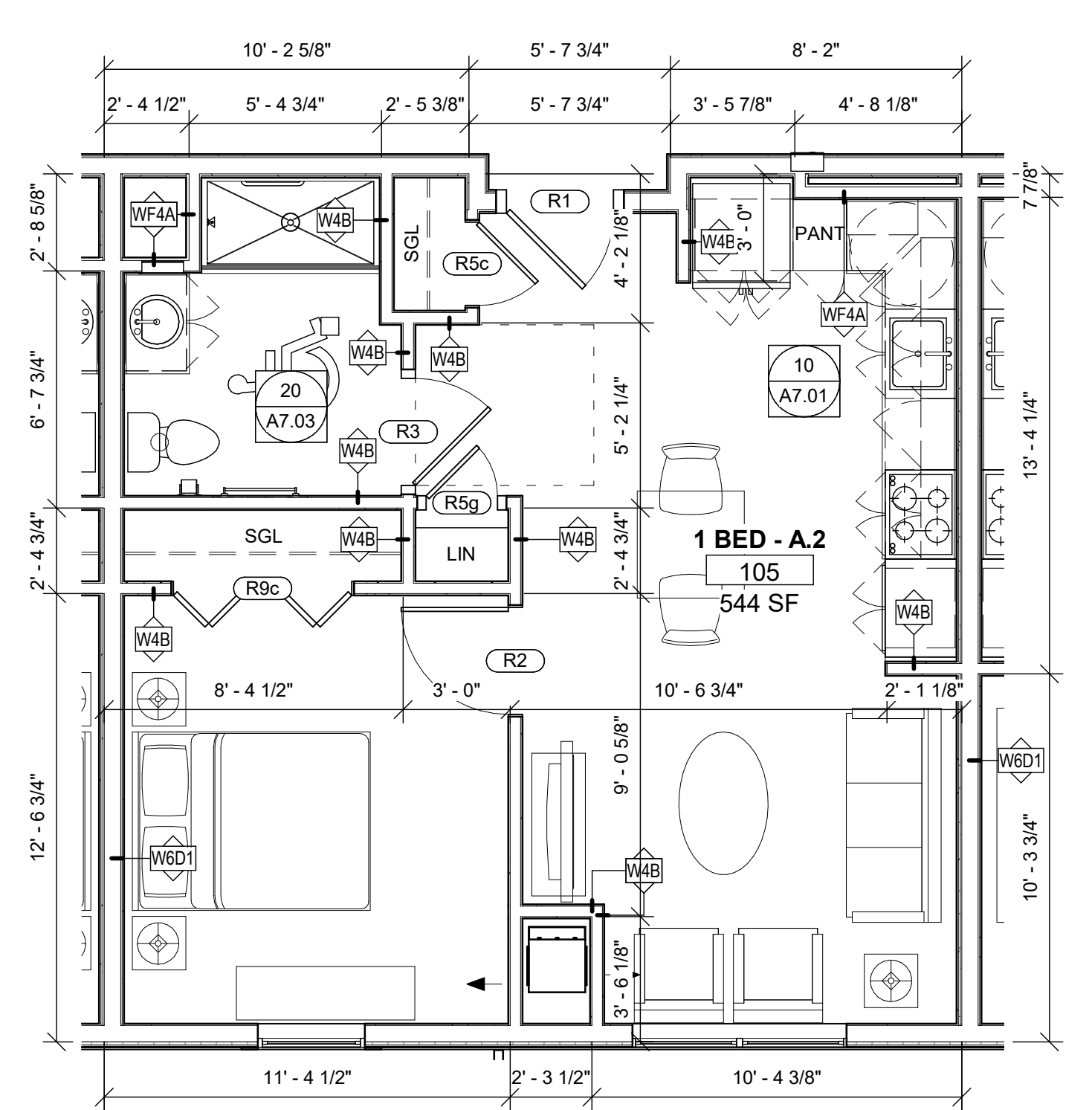
21 TYPICAL UNIT PLAN B
 Scale: 1/4" = 1'-0"



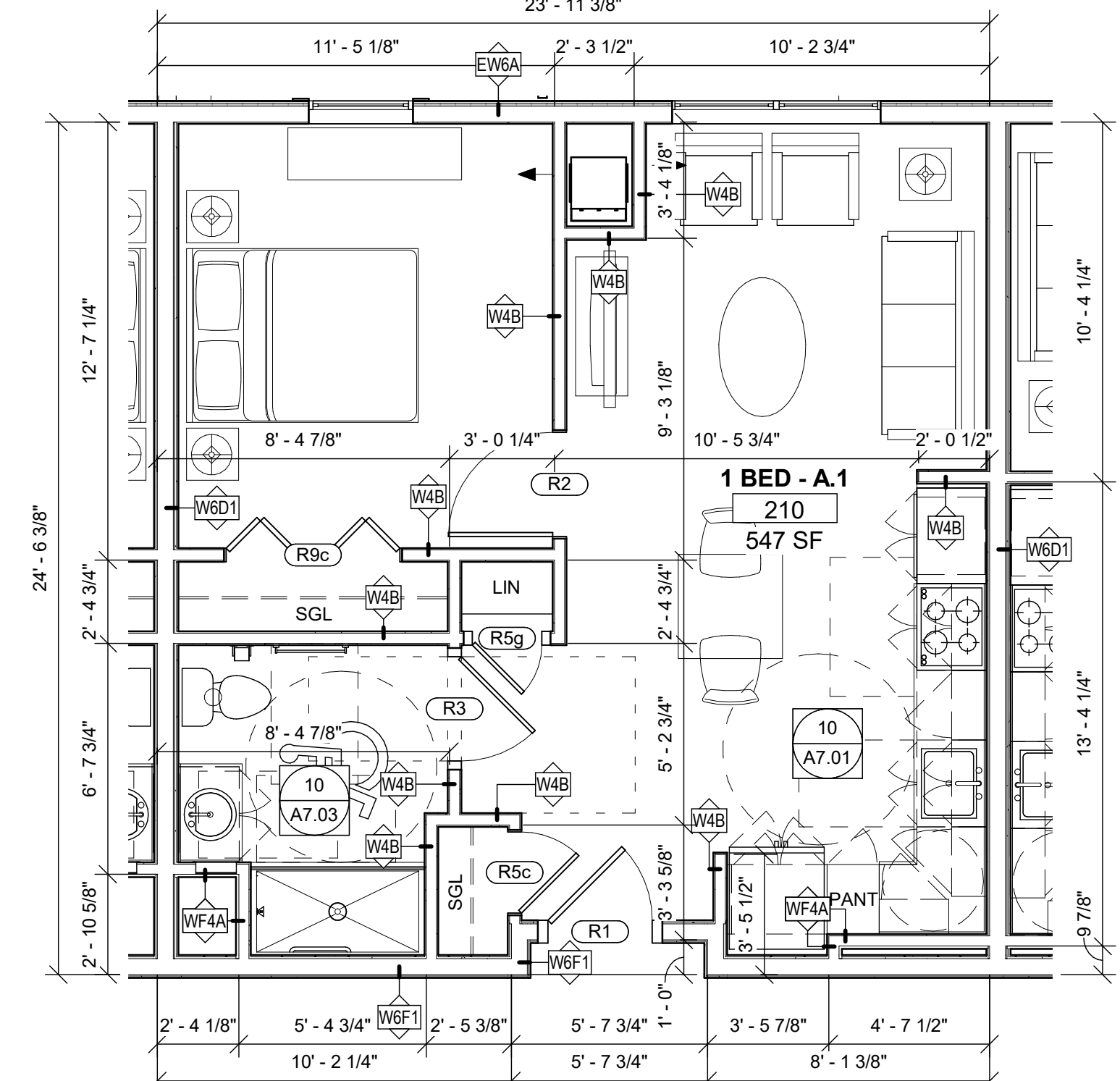
11 TYPICAL UNIT PLAN A HP
 Scale: 1/4" = 1'-0"



30 TYPICAL UNIT PLAN A.3
 Scale: 1/4" = 1'-0"



20 TYPICAL UNIT PLAN A.2
 Scale: 1/4" = 1'-0"



10 TYPICAL UNIT PLAN A
 Scale: 1/4" = 1'-0"

KEYNOTE LEGEND - EXTERIOR ELEVATIONS

- EL01 WINDOW. REFER TO SCHEDULE AND SPECIFICATIONS
- EL02 DOOR. SEE SCHEDULE AND SPECIFICATIONS
- EL03A FIBER CEMENT LAP SIDING, JAMES HARDIE, COLOR #1
- EL03B FIBER CEMENT LAP SIDING, JAMES HARDIE, COLOR #2
- EL04A FIBER CEMENT 5/4x8 SMOOTH TRIM BOARD, JAMES HARDIE, COLOR
- EL04B FIBER CEMENT 5/4x8 SMOOTH TRIM BOARD, JAMES HARDIE, COLOR
- EL04C FIBER CEMENT 5/4x12 SMOOTH TRIM BOARD, JAMES HARDIE, COLOR
- EL04D FIBER CEMENT 5/4x6 SMOOTH CORNER BOARD, JAMES HARDIE, COLOR
- EL05 FIBER CEMENT 5/4x6 SMOOTH CORNER BOARD, JAMES HARDIE, COLOR
- EL06 ASPHALT SHINGLE ROOFING SYSTEM WITH UNDERLAYMENT. SEE SPECS. REFER TO ROOF PLANS
- EL07 4X3 DOWNSPOUT AND 6" GUTTER
- EL10 EXTERIOR WALL SCONCE. REFER TO ELECTRICAL FOR SPECS.
- EL12 PVC COLUMN TRIM



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 Chelsea MA 02150
 ☎ 617.889.4402
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 architecturalteam.com

Consultant:

Revision:

Architect of Record:

Drawn: JS

Checked: AS

Scale: 1/8" = 1'-0"

Key Plan:

Project Name:

PLANTATION APARTMENTS I & II

Plantation II

Johnston Way
 Stow, MA 01775

Sheet Name:

BUILDING ELEVATIONS

Project Number:

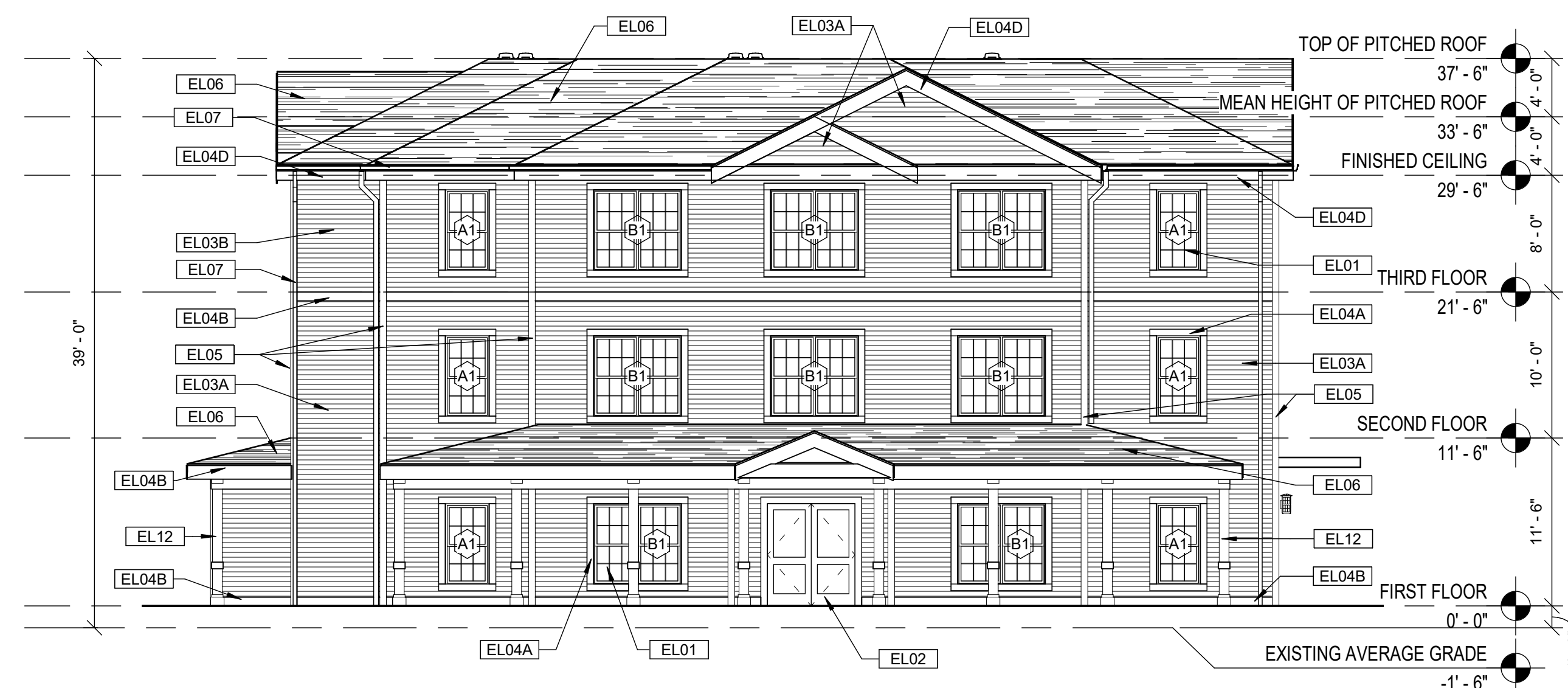
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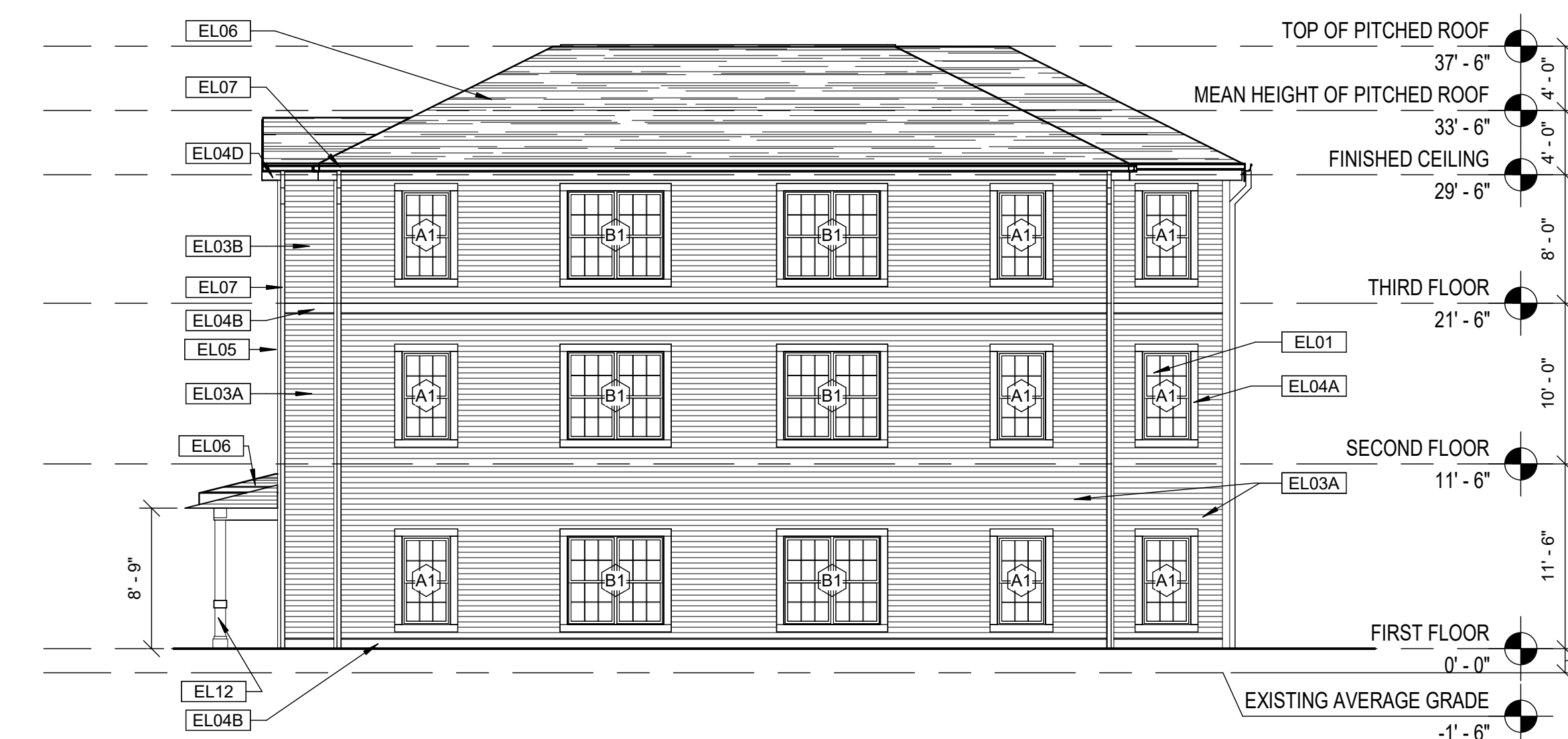
AUGUST 29, 2022

Sheet Number:

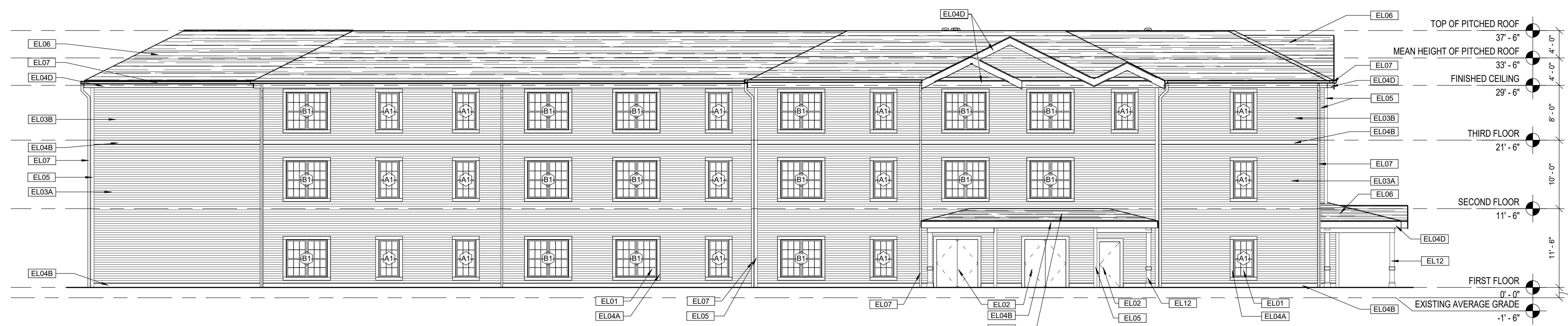
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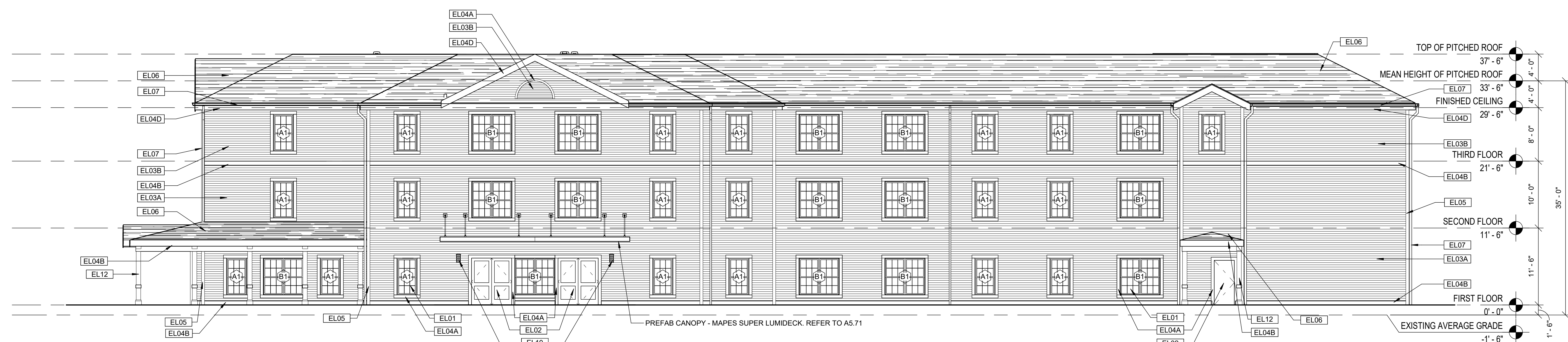
12 EAST ELEVATION
 Scale: 1/8" = 1'-0"



13 WEST ELEVATION
 Scale: 1/8" = 1'-0"



11 SOUTH ELEVATION
 Scale: 1/8" = 1'-0"



10 NORTH ELEVATION
 Scale: 1/8" = 1'-0"