

DRAFT

Town of Stow
Randall Library Renovation + Addition
19 Crescent Street

ZBA APPLICATION PRELIMINARY MATERIALS

Attachment 1 - Setback Diagrams

RANDALL
LIBRARY

19 Crescent St
Stow, MA 01775

designLAB architects

35 Channel Center Street, Suite 103
Boston, MA 02210
t: 617.350.3005
www.designLABarch.com

Consultants:

Key Plan:

Legend:

Stamp:

REV NO	DESCRIPTION	DATE

PROJECT NO: Project Number
DRAWN BY: Author
CHECKED BY: Checker
DATE: 06/02/2023

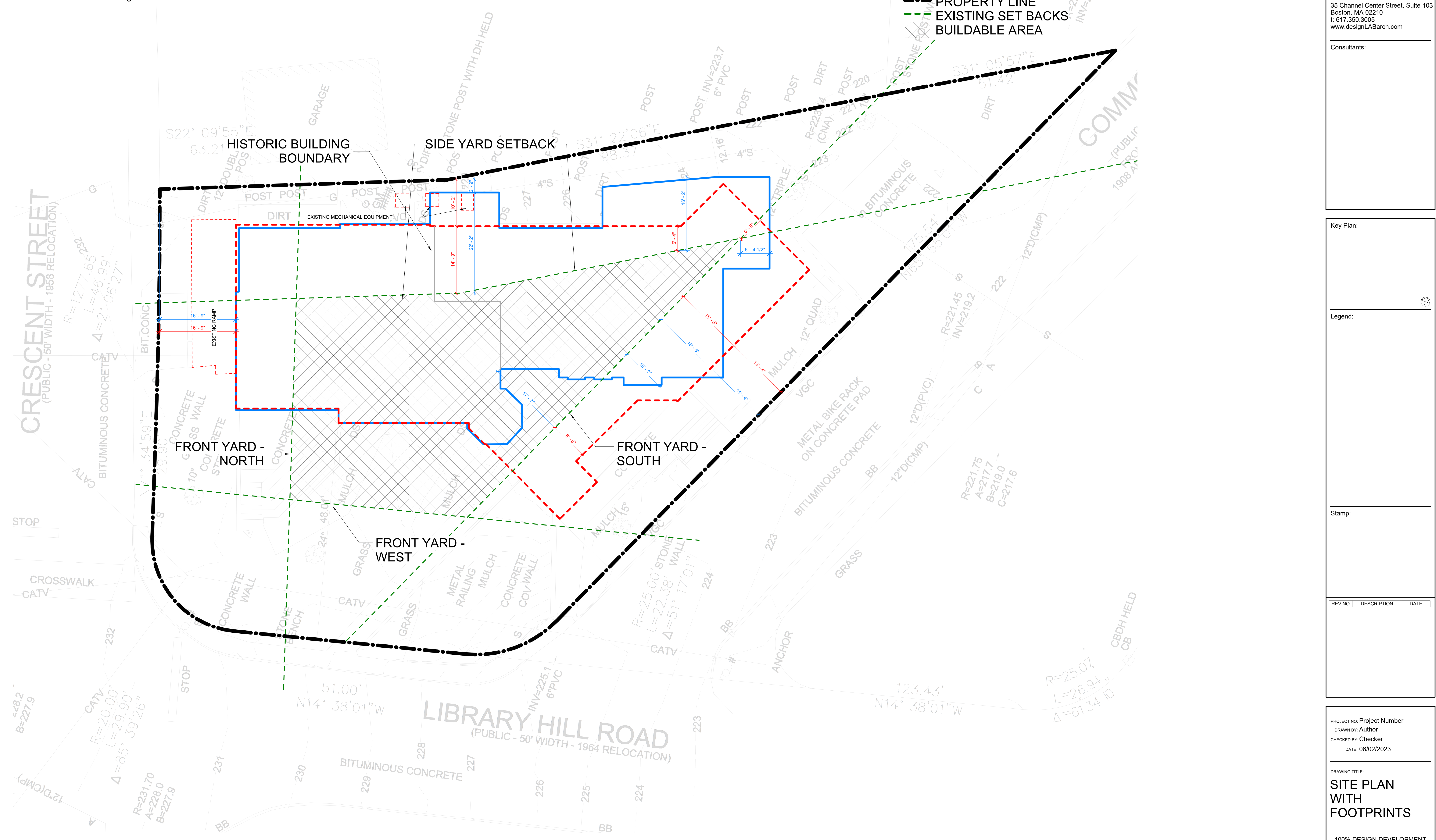
DRAWING TITLE:
**SITE PLAN
WITH
FOOTPRINTS**

100% DESIGN DEVELOPMENT

SHEET NUMBER:

XSITE

- EXISTING FOOTPRINT - 5,266 SF
- PROPOSED FOOTPRINT - 4,710 SF
- HISTORIC BUILDING BOUNDARY
- PROPERTY LINE
- EXISTING SET BACKS
- BUILDABLE AREA



1 Survey Site Plan - Footprints
1/8" = 1'-0"

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Randall Library Renovation + Addition
19 Crescent Street

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Attachment 2 - Existing Parking

MASSACHUSETTS STATE PLANE COORDINATE SYSTEM
NAD 83

LEGEND

- Legend items including: CATCH BASIN, CABLE TELEVISION MANHOLE, DRAIN MANHOLE, ELECTRIC MANHOLE, MISCELLANEOUS MANHOLE, SEWER MANHOLE, TELEPHONE MANHOLE, WATER MANHOLE, GAS SHUT-OFF, WATER SHUT-OFF, GAS GATE, WATER GATE, IRRIGATION CONTROL VALVE, CLEANOUT, CLEANOUT, BOSTON WATER WORKS, FIRE HYDRANT, DOWN SPOUT, UTILITY POLE, UTILITY POLE WITH CONDUIT LINE TO GROUND, LIGHT POLE, LIGHT BOLLARD, LANDSCAPE LIGHT, HAND HOLE, TRASH CAN, FIRE ALARM CALL BOX, METAL POST, CONCRETE POST, PARKING METER, SIGN POST, TRAFFIC MAST ARM, TRAFFIC SIGNAL, PEDESTRIAN SIGNAL, DECIDUOUS TREE WITH TRUNK DIAMETER, CONIFEROUS TREE WITH TRUNK DIAMETER, HANDICAP PARKING, SPOT ELEVATION, CHAIN LINK FENCE, BITUMINOUS CONCRETE BERM, SLOPED GRANITE CURB, VERTICAL GRANITE CURB, VERTICAL CONCRETE CURB, WHEELCHAIR RAMP, LANDSCAPE TIMBER, RIM ELEVATION EQUALS, INVERT ELEVATION EQUALS, TOP OF HOOD ELEVATION EQUALS, NO PIPES VISIBLE, TOP OF WATER, CANNOT ACCESS, TRAFFIC CONTROL BOX, UNDERGROUND LOOP DETECTOR, DETECTABLE WARNING PANEL, TOP OF WALL ELEVATION, UNDERGROUND CABLE TELEVISION LINE, UNDERGROUND DRAIN LINE, UNDERGROUND ELECTRIC LINE, UNDERGROUND GAS LINE, UNDERGROUND SEWER LINE, UNDERGROUND TELEPHONE LINE, UNDERGROUND WATER LINE, OVERHEAD WIRES, MONITORING WELL, BENCH MARK.

CRESCENT STREET
HARTLEY ROAD
LIBRARY HILL ROAD
COMMON ROAD

Town of Stow Zoning Bylaw - Including Amendments through May 2022

7.5.5 Paved off-street parking areas shall be laid out and striped in compliance with the following minimum provisions:

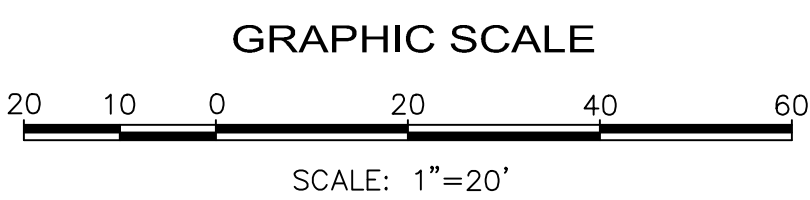
Table with 4 columns: Angle of Parking, Width of Parking Stall, Parking Stall Length of Line, Width of MANEUVERING AISLE. Rows include 90° (two-way), 75° (one-way), 60° (one-way), Parallel (one-way), Parallel (two-way).

7.6 Small Car Stalls

In parking areas containing more than forty (40) parking stalls, thirty percent (30%) of such parking stalls may be for small car use, except for retail store, personal service facility, general services or restaurant uses. Such small car stalls shall be grouped in one or more contiguous areas and shall be identified by a SIGN(S).

7.6.1 Small Car Parking Dimensional Regulations - Off-street small car parking areas shall be laid out and striped in compliance with the following minimum provisions:

Table with 4 columns: Angle of Parking, Width of Parking Stall, Parking Stall Length of Line, Width of MANEUVERING AISLE. Rows include 90° (two-way), 75° (one-way), 60° (one-way), 45° (one-way), Parallel (one-way), Parallel (two-way).



UTILITY INFORMATION STATEMENT

- 1. THE SUB-SURFACE UTILITY INFORMATION SHOWN HEREON IS COMPILED BASED ON FIELD SURVEY INFORMATION, RECORD INFORMATION AS SUPPLIED BY THE APPROPRIATE UTILITY COMPANIES, AND PLAN INFORMATION SUPPLIED BY THE CLIENT, IF ANY; THEREFORE WE CANNOT GUARANTEE THE ACCURACY OF SAID COMPILED SUB-SURFACE INFORMATION TO ANY CERTAIN DEGREE OF STATED TOLERANCE. ONLY PHYSICALLY LOCATED SUB-SURFACE UTILITY FEATURES FALL WITHIN NORMAL STANDARD OF CARE ACCURACIES.
2. THE LOCATIONS OF UNDERGROUND PIPES, CONDUITS, AND STRUCTURES HAVE BEEN DETERMINED FROM SAID INFORMATION, AND ARE APPROXIMATE ONLY. COMPILED LOCATIONS OF ANY UNDERGROUND STRUCTURES, NOT VISIBLY OBSERVED AND LOCATED, CAN VARY FROM THEIR ACTUAL LOCATIONS.
3. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED.
4. THE STATUS OF UTILITIES, WHETHER ACTIVE, ABANDONED, OR REMOVED, IS AN UNKNOWN CONDITION AS FAR AS OUR COMPILATION OF THIS INFORMATION.
5. IT IS INCUMBENT UPON INDIVIDUALS USING THIS INFORMATION TO UNDERSTAND THAT COMPILING UTILITY INFORMATION IS NOT EXACT, AND IS SUBJECT TO CHANGE BASED UPON VARYING PLAN INFORMATION RECEIVED AND ACTUAL LOCATIONS.
6. THE ACCURACY OF MEASURED UTILITY INVERTS AND PIPE SIZES IS SUBJECT TO FIELD CONDITIONS, THE ABILITY TO MAKE VISUAL OBSERVATIONS, DIRECT ACCESS TO THE VARIOUS ELEMENTS AND OTHER MATTERS.
7. THE PROPER UTILITY ENGINEERING/COMPANY SHOULD BE CONSULTED AND THE ACTUAL LOCATIONS OF SUBSURFACE STRUCTURES SHOULD BE VERIFIED IN THE FIELD (V.I.F.) BEFORE PLANNING FUTURE CONNECTIONS. CONTACT THE DIG SAFE CALL CENTER AT 1-888-344-7233, SEVENTY-TWO HOURS PRIOR TO EXCAVATION, BLASTING, GRADING, AND/OR PAVING.
8. AS OF THE DATE OF THIS PLAN RECORD INFORMATION HAS NOT BEEN RECEIVED BY NITSCHE ENGINEERING FOR THE FOLLOWING UTILITIES: MCI-VERIZON BUSINESS AND HUDSON LIGHT & POWER DEPT.

NOTES

- 1. THIS DOCUMENT IS AN INSTRUMENT OF SERVICE OF NITSCHE ENGINEERING. IT IS ISSUED TO DESIGNLAB ARCHITECTS FOR PURPOSES RELATED DIRECTLY AND SOLELY TO NITSCHE ENGINEERING'S SCOPE OF SERVICES UNDER CONTRACT WITH DESIGNLAB ARCHITECTS FOR RANDALL LIBRARY. ANY USE OR REUSE OF THIS DOCUMENT FOR ANY REASON BY ANY PARTY FOR PURPOSES UNRELATED DIRECTLY AND SOLELY TO SAID CONTRACT AND PROJECT SHALL BE AT THE USER'S SOLE AND EXCLUSIVE RISK AND LIABILITY, INCLUDING LIABILITY FOR VIOLATION OF COPYRIGHT LAWS, UNLESS WRITTEN AUTHORIZATION IS GIVEN THEREFOR BY NITSCHE ENGINEERING.
2. THE PURPOSE OF THIS PLAN IS TO SHOW EXISTING CONDITIONS AS THE RESULT OF AN ON-THE-GROUND INSTRUMENT SURVEY WHICH OCCURRED APRIL 2023.
3. HORIZONTAL COORDINATES REFER TO MASSACHUSETTS STATE PLANE (NAD 83) BASED ON RTK GPS OBSERVATIONS.
4. ELEVATION REFERS TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) BASED ON RTK GPS OBSERVATIONS.
5. THE INFORMATION CONTAINED ON THE DISK OR ELECTRONIC DRAWING FILE ACCOMPANYING THIS PLAN MUST BE COMPARED TO THE SEALED AND SIGNED HARD COPY OF THE PLAN TO ENSURE THE ACCURACY OF ALL INFORMATION AND TO ENSURE NO CHANGES, ALTERATIONS, OR MODIFICATIONS HAVE BEEN MADE. RELIANCE SHALL NOT BE MADE ON A DOCUMENT TRANSMITTED BY COMPUTER OR OTHER ELECTRONIC MEANS UNLESS FIRST COMPARED TO THE ORIGINAL SEALED DOCUMENT ISSUED AT THE TIME OF THE SURVEY. DUE TO THE CRITICAL NATURE OF SURVEYING, DATA ACQUISITION, AND AUTOCAD PLAN DEVELOPMENT, IF CRITICAL DIMENSIONAL INFORMATION IS NEEDED AND IS NOT SPECIFICALLY SHOWN ON THE ELECTRONIC DRAWING FILE, PLEASE CONTACT NITSCHE ENGINEERING.

EXISTING PARKING AREA NOT STRIPED. ALLOWS FOR (2) STANDARD 9'X18' SPACES AND (1) 8'X18' VAN ACCESSIBLE SPACE WITH 8' AISLE (SLOPE NON-COMPLIANT WITH ADA)

EXISTING PAVEMENT AREA NOT STRIPED. ALLOWS FOR (1) 9'X22' CAR ENCRoACHED WITHIN THE PUBLIC WAY

BENCH MARK SET PK NAIL IN UTILITY POLE ELEVATION=224.07(NAVD88) FIELD BOOK 831 PAGE 101 SET ON 04/04/2023

Table with 3 columns: REV., COMMENTS, DATE. Includes project details like PROJECT # 14631.1, FILE: 14631.1_TOPO.dwg, SCALE: 1"=20', DATE: APRIL 2023, PROJECT MANAGER: DRS, FIELD BOOK: 831, DRAFTED BY: JTJ, CHECKED BY: [blank].

EXISTING PARKING DIAGRAM
RANDALL LIBRARY
19 CRESCENT ST, STOW, MA 01775

PREPARED FOR:
DESIGNLAB ARCHITECTS

35 CHANNEL CENTER STREET, SUITE 103, BOSTON, MA 02210

SHEET: 1

EP-1

OF 1 REV.

5/4/2023 3:50 PM
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p:\10000-14999\14631.1_topo.dwg

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Town of Stow
Randall Library Renovation + Addition
19 Crescent Street

ZBA APPLICATION PRELIMINARY MATERIALS

Attachment 3 - Lower Level Plan

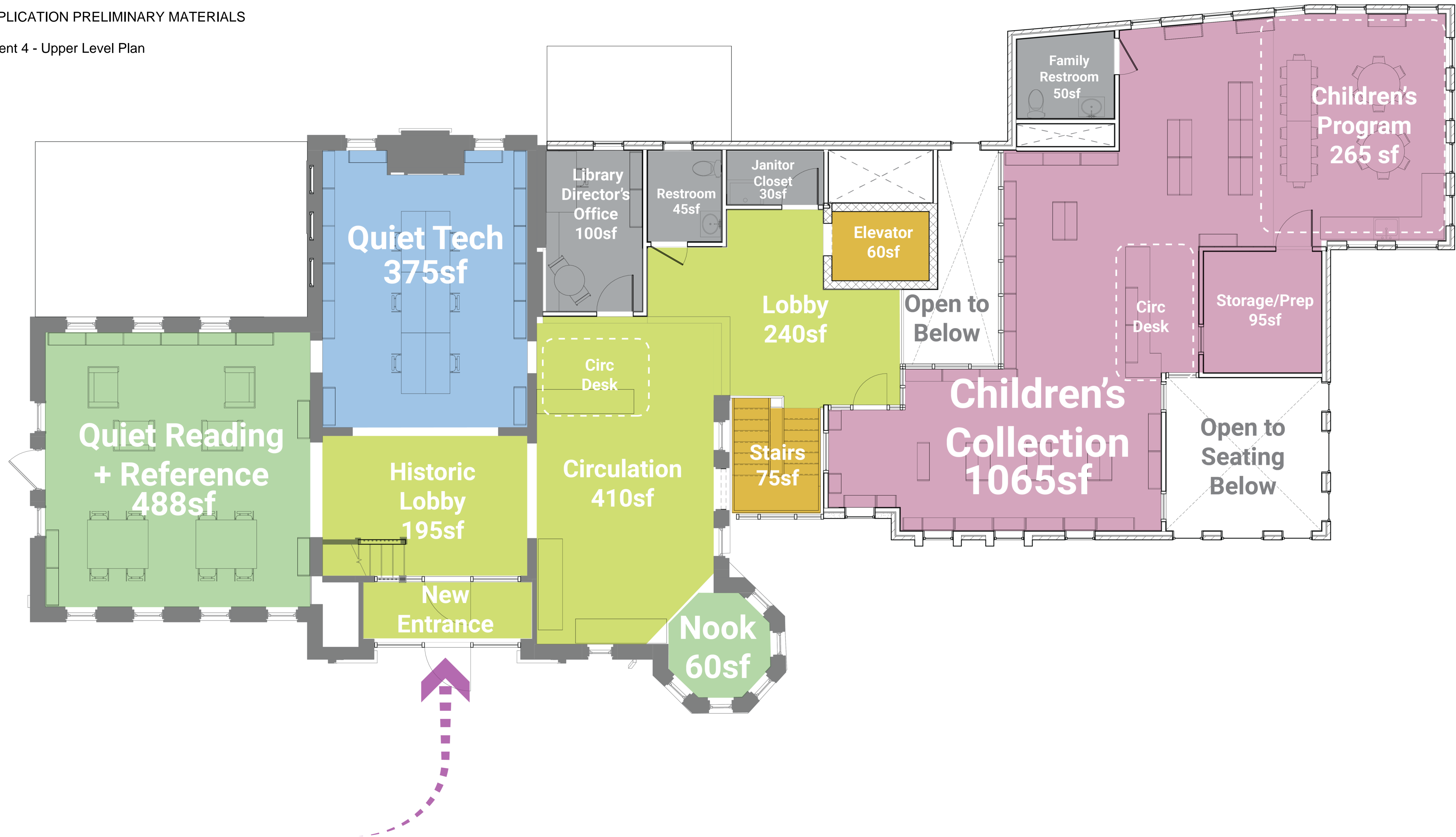


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ZBA APPLICATION PRELIMINARY MATERIALS

Attachment 4 - Upper Level Plan



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19 Crescent Street

ZBA APPLICATION PRELIMINARY MATERIALS

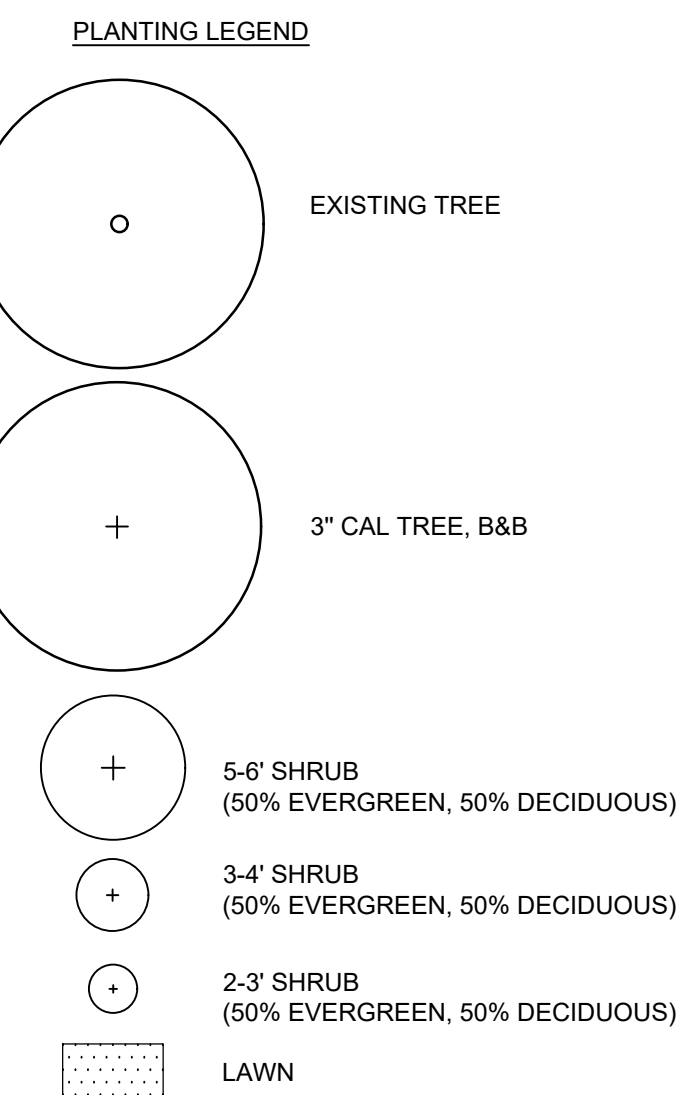
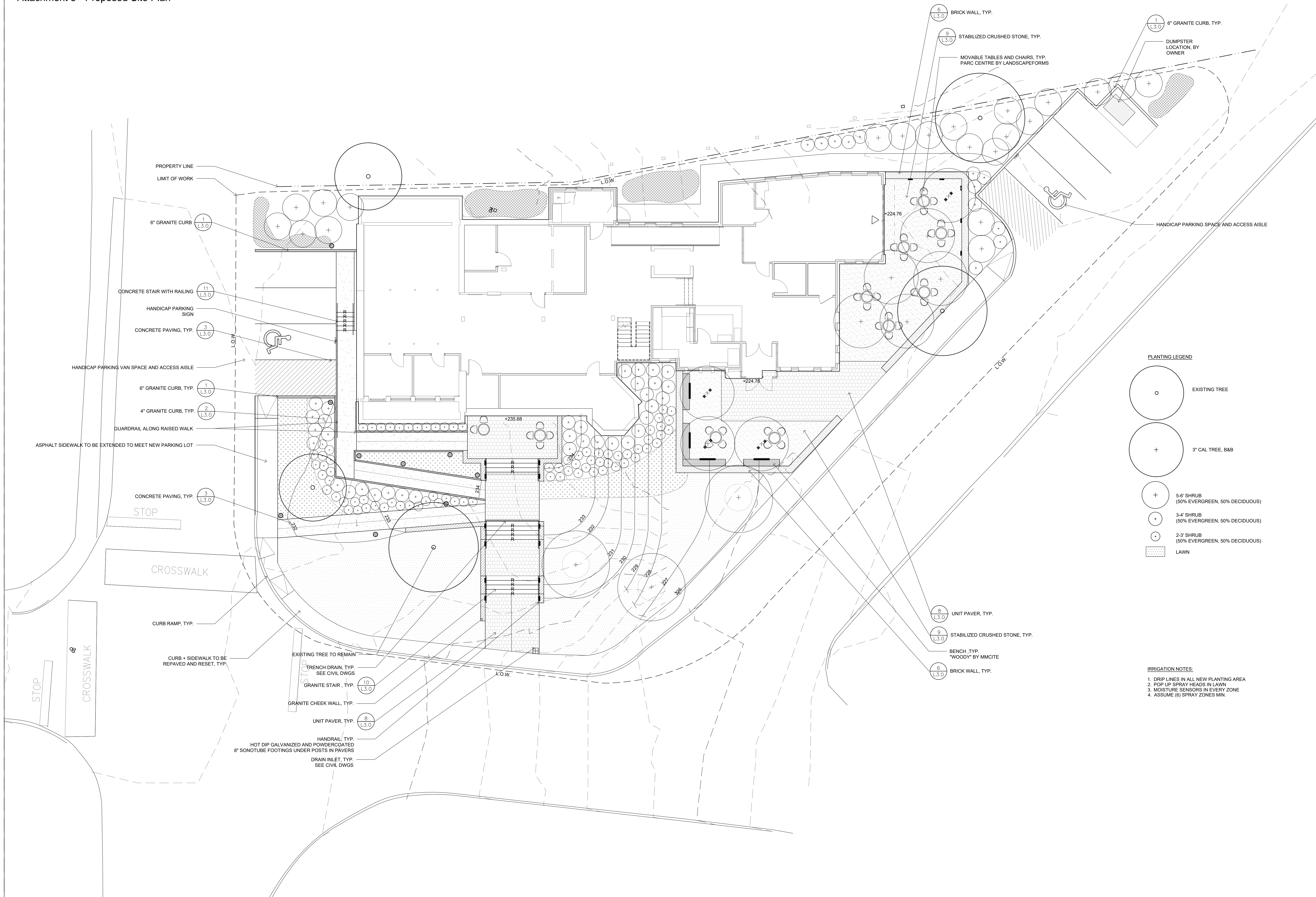
Attachment 5 - Proposed Site Plan

**RANDALL
LIBRARY**

19 Crescent Street
Stow, MA 01775

35 Channel Center Street, Suite 103
Boston, MA 02210
T: 617.350.3005
www.designLABarch.com

Consultants:
G2 COLLABORATIVE
LANDSCAPE ARCHITECTURE
282 Moody Street, Suite 308
Waltham, MA 02453
781.373.5945
www.g2ca.com



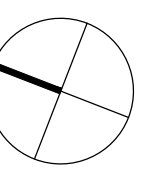
IRRIGATION NOTES:

1. DRIP LINES IN ALL NEW PLANTING AREA
2. POP UP SPRAY HEADS IN LAWN
3. MOISTURE SENSORS IN EVERY ZONE
4. ASSUME (6) SPRAY ZONES MIN.

Key Plan:

Legend:

Stamp:



SCALE: 1/8" = 1'-0"

PROJECT NO: 2301
DRAWN BY: AG
CHECKED BY: GS
DATE: 6.14.23

DRAWING TITLE:
PRELIMINARY ZBA SUBMISSION

**SITE
PLAN**

SHEET NUMBER:

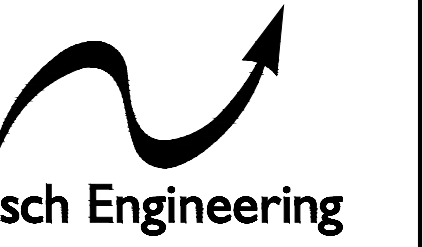
L1.1

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Randall Library Renovation + Addition
19 Crescent Street

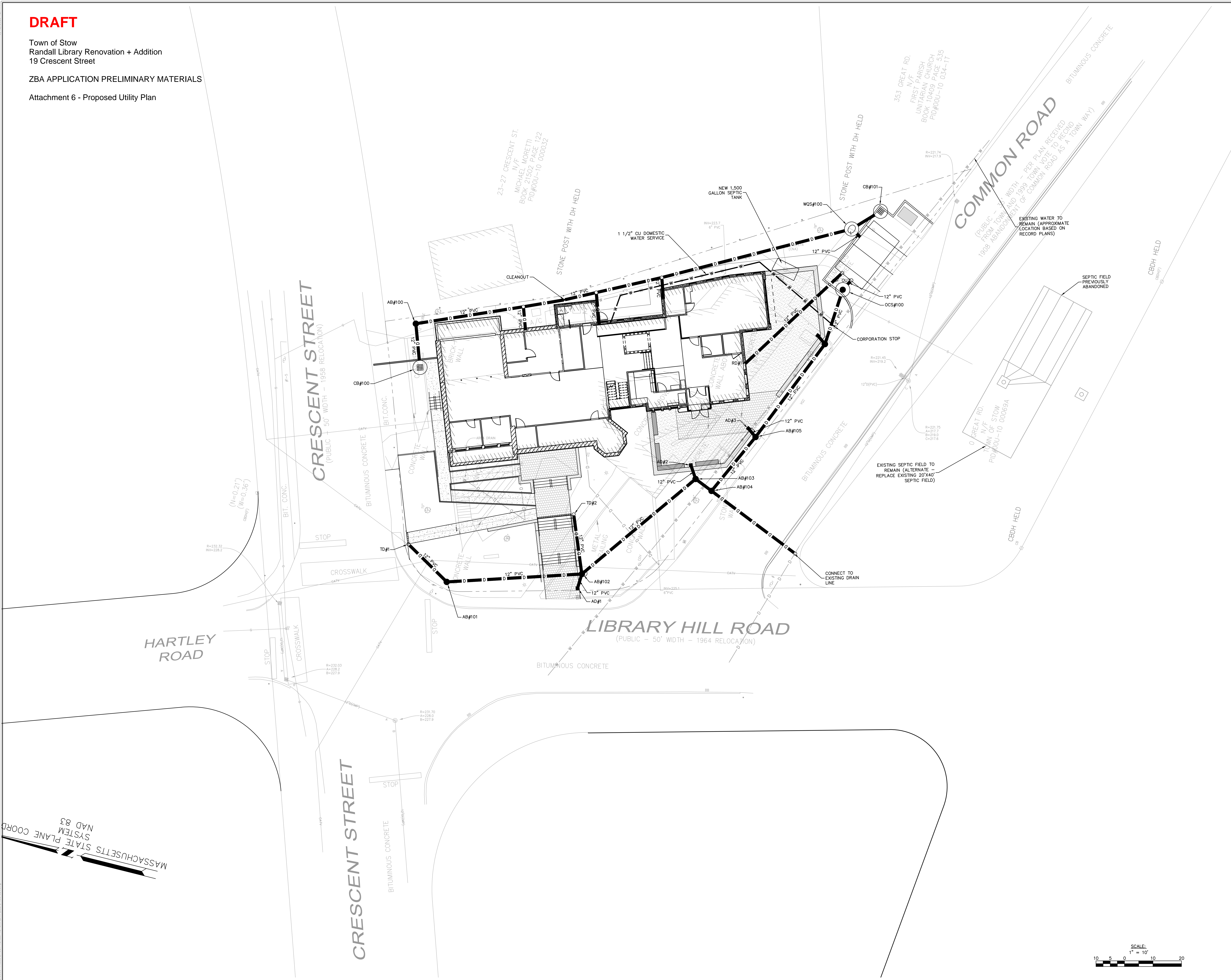
ZBA APPLICATION PRELIMINARY MATERIALS

Attachment 6 - Proposed Utility Plan



www.nitsch.com
2 Center Plaza, Suite 430
Boston, MA 02108
T: (617) 338-0063
F: (617) 338-6472

- Civil Engineering
- Land Surveying
- Transportation Engineering
- Structural Engineering
- Green Infrastructure
- Planning
- GIS



MASSACHUSETTS STATE PLANE COORDINATE SYSTEM
NAD 83

SITE UTILITY PLAN
19 CRESCENT STREET STOW, MA 01775
PREPARED FOR:
TOWN OF STOW

REV	COMMENTS	DATE

SCALE:
1" = 10'

C-200