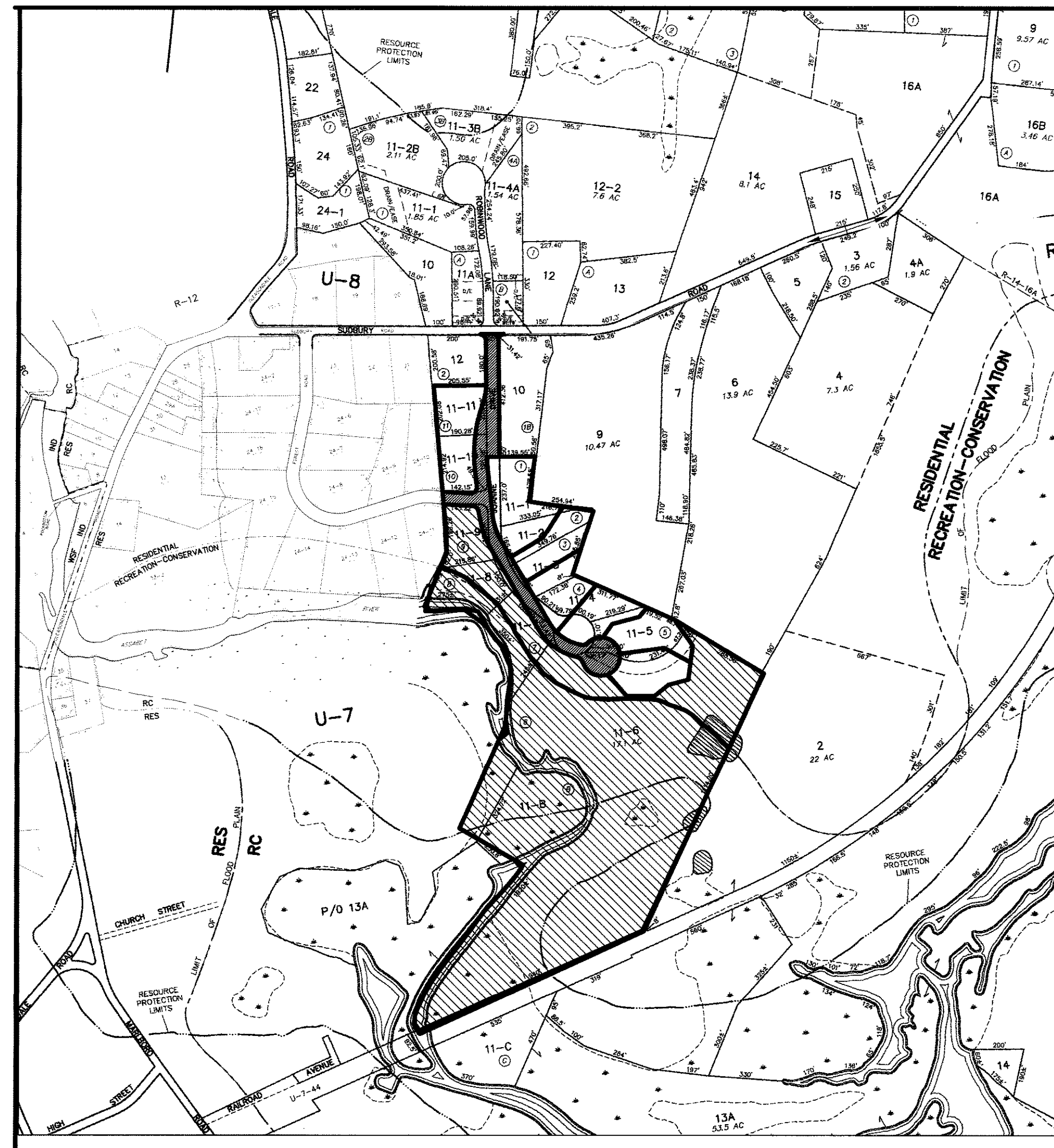


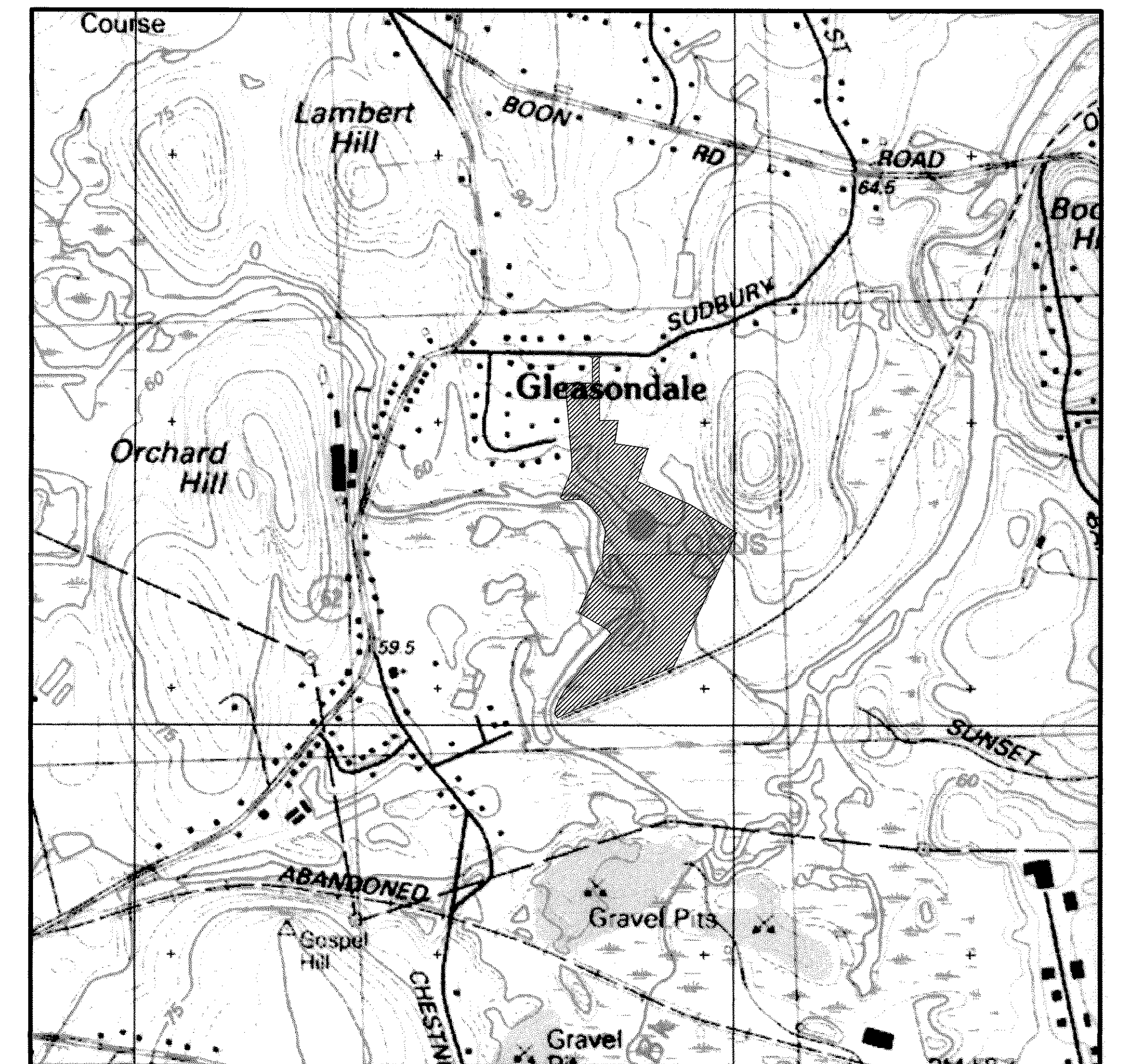
DEFINITIVE SUBDIVISION PLAN
JOANNE DRIVE
A PLANNED CONSERVATION DEVELOPMENT
STOW, MASSACHUSETTS
AUGUST 4, 2017
REVISED FEBRUARY 15, 2018
REVISED SEPTEMBER 24, 2018
REVISED DECEMBER 3, 2018

PLAN INDEX

SHEET 1	TITLE SHEET
SHEET 2-3	PROOF PLAN
SHEET 4	MASTER PLAN
SHEETS 5-7	NATURAL FEATURES & EXISTING CONDITIONS PLAN
SHEETS 8-10	RECORD PLAN
SHEETS 11-12	SITE DEVELOPMENT & LAND USE PLAN
SHEETS 13-14	PLAN & PROFILE
SHEETS 15-16	CONSTRUCTION DETAILS PLAN
SHEETS 17-19	STORMWATER POLLUTION PREVENTION PLAN



LOCUS MAP
SCALE: 1"=400'



LOCUS MAP
SCALE: 1"=1000'

RECORD OWNER/APPLICANT

LUNDY STARMER, INC.
25 ORCHARD DRIVE
NATICK, MA 01760

ZONING DISTRICT:

RESIDENTIAL
RECREATION/CONSERVATION
FLOOD PLAIN
WATER RESOURCE PROTECTION OVERLAY

ENGINEER/SURVEYOR

STAMSKI AND MCNARY, INC.
1000 MAIN STREET
ACTON, MA 01720
(978) 263-8585

REFERENCE

MIDDLESEX REGISTRY OF DEEDS
SOUTH DISTRICT
DEED BOOK 11045 PAGE 326
PLAN No. 1416 OF 1963
PLAN No. 1015 OF 1973
PLAN No. 1211 OF 1971

TOWN OF STOW ASSESSOR
MAP R13
PARCELS 11-1 THRU 11-11;
11-B & JOANNE DRIVE

STOW PLANNING BOARD

[Signatures]

APPROVAL DATE: 12.12.2017
ENDORSEMENT DATE: 8.20.2019

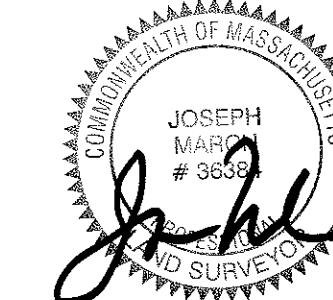
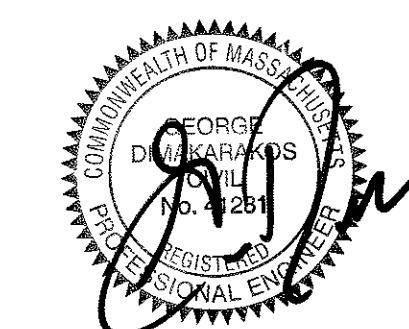
I, CLERK OF THE TOWN OF STOW, MASSACHUSETTS
HEREBY CERTIFY THE NOTICE OF THE APPROVAL OF
THIS PLAN BY THE STOW PLANNING BOARD HAS
BEEN RECEIVED AND RECORDED AT THIS OFFICE
AND NO APPEAL WAS RECEIVED DURING THE TWENTY
DAYS NEXT AFTER SUCH RECEIPT AND RECORDING
OF SAID NOTICE.

August 27, 2019
DATE
[Signature]
TOWN CLERK

Middlesex Registry of Deeds,
Southern District
Cambridge, Massachusetts
Plan No. 195 of 2020
Rec'd 3-11-2020
at 12 H 06 M P M

Attest

[Signature]
Register



I, CLERK OF THE TOWN OF STOW, MASSACHUSETTS HEREBY CERTIFY THAT THE NOTICE OF THE APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE NEXT TWENTY DAYS AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

August 27, 2019
DATE

Priscilla E. Hathaway
TOWN CLERK

STOW PLANNING BOARD

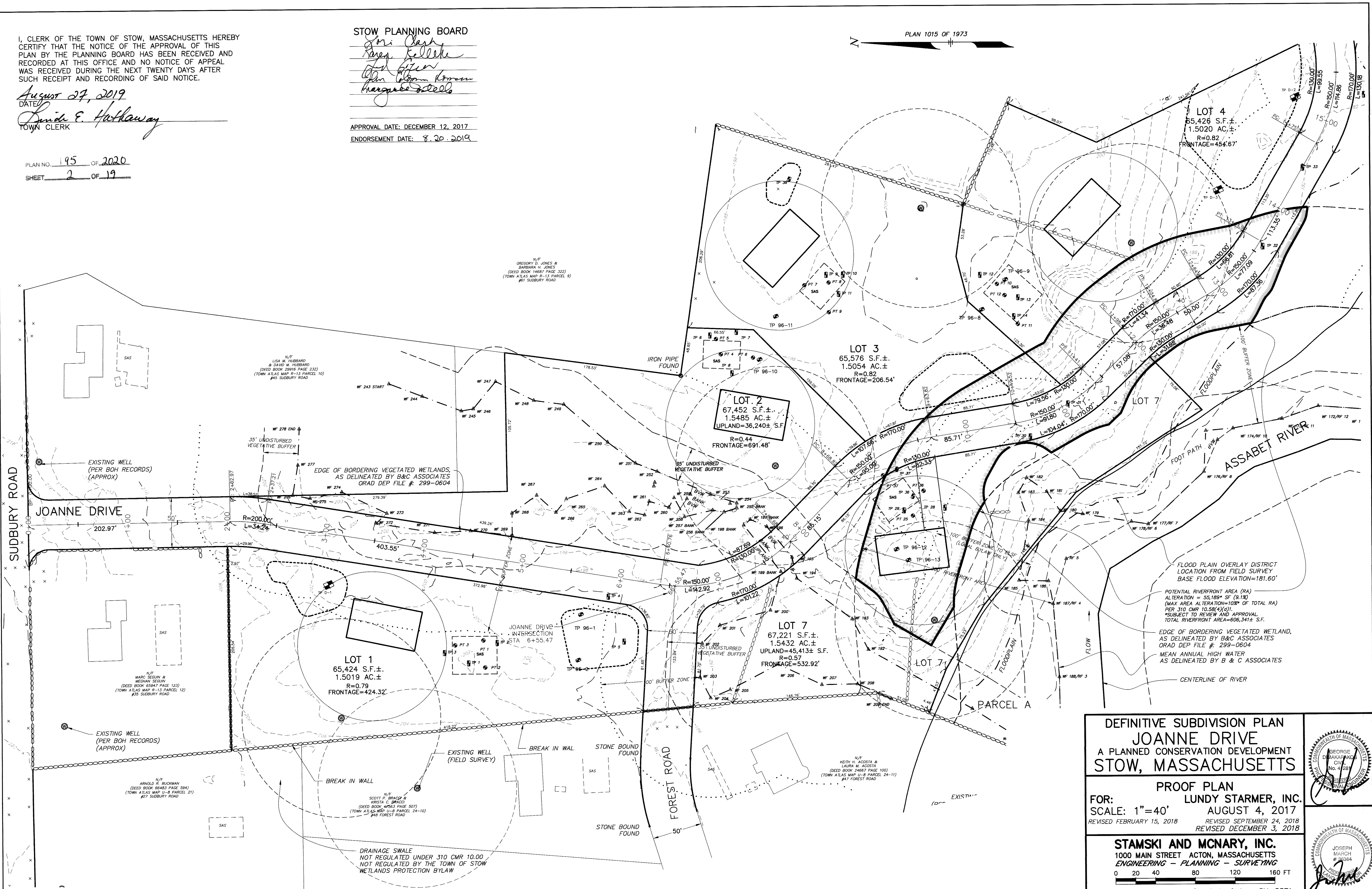
For: Clark
Greg Kelleher
John Brown
Margaret Sells

APPROVAL DATE: DECEMBER 12, 2017

ENDORSEMENT DATE: 8.20.2019

PLAN NO. 195 OF 2020
SHEET 2 OF 19

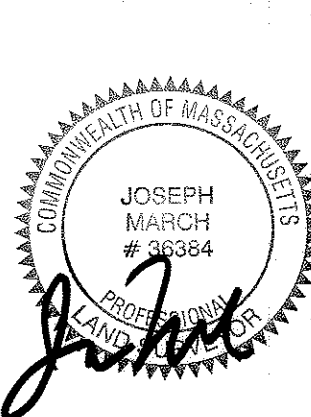
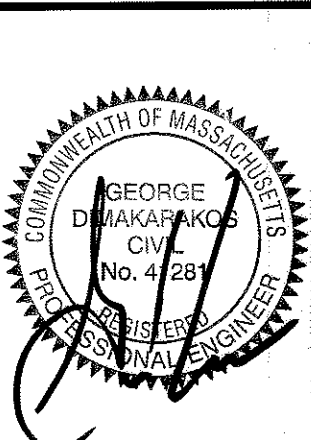
PLAN 1015 OF 1973



DEFINITIVE SUBDIVISION PLAN JOANNE DRIVE A PLANNED CONSERVATION DEVELOPMENT STOW, MASSACHUSETTS

PROOF PLAN
FOR: LUNDY STARMER, INC.
SCALE: 1"=40'
AUGUST 4, 2017
REVISED FEBRUARY 15, 2018
REVISED SEPTEMBER 24, 2018
REVISED DECEMBER 3, 2018

STAMSKI AND MCNARY, INC.
1000 MAIN STREET ACTON, MASSACHUSETTS
ENGINEERING - PLANNING - SURVEYING
0 20 40 80 120 160 FT
5371 DEF PROOF A.DWG Sheet 2 of 19 SM-5371



195 of 2020 2/19



N/F
HONEY POT HILL ORCHARDS, INC.
(DEED BOOK 13142 PAGE 473)
(TOWN ATLAS MAP R-13 PARCEL 6)
SUBURBY ROAD

RECORD OWNER

LUNDY STARMER, INC.
25 ORCHARD DRIVE
NATICK, MA 01760

REFERENCE

MIDDLESEX REGISTRY OF DEEDS
SOUTH DISTRICT
DEED BOOK 11045 PAGE 326
PLAN No. 1416 OF 1963
PLAN No. 1015 OF 1973
PLAN No. 1211 OF 1971

ZONING DISTRICT:

RESIDENTIAL
RECREATION/CONSERVATION
FLOOD PLAIN
WATER RESOURCE PROTECTION OVERLAY

LEGEND:

- N/F NOW OR FORMERLY
--- EXISTING CONTOUR
--- EXISTING CONTOUR
TP 34 TEST PIT
△ WETLAND FLAG
99X9 SPOT ELEVATION
○○○○ STONE WALL
— EDGE OF RIGHT OF WAY

I, CLERK OF THE TOWN OF STOW, MASSACHUSETTS HEREBY
CERTIFY THAT THE NOTICE OF THE APPROVAL OF THIS
PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND
RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL
WAS RECEIVED DURING THE NEXT TWENTY DAYS AFTER
SUCH RECEIPT AND RECORDING OF SAID NOTICE.

August 27, 2019
DATE
Teresa E. Hathaway
TOWN CLERK

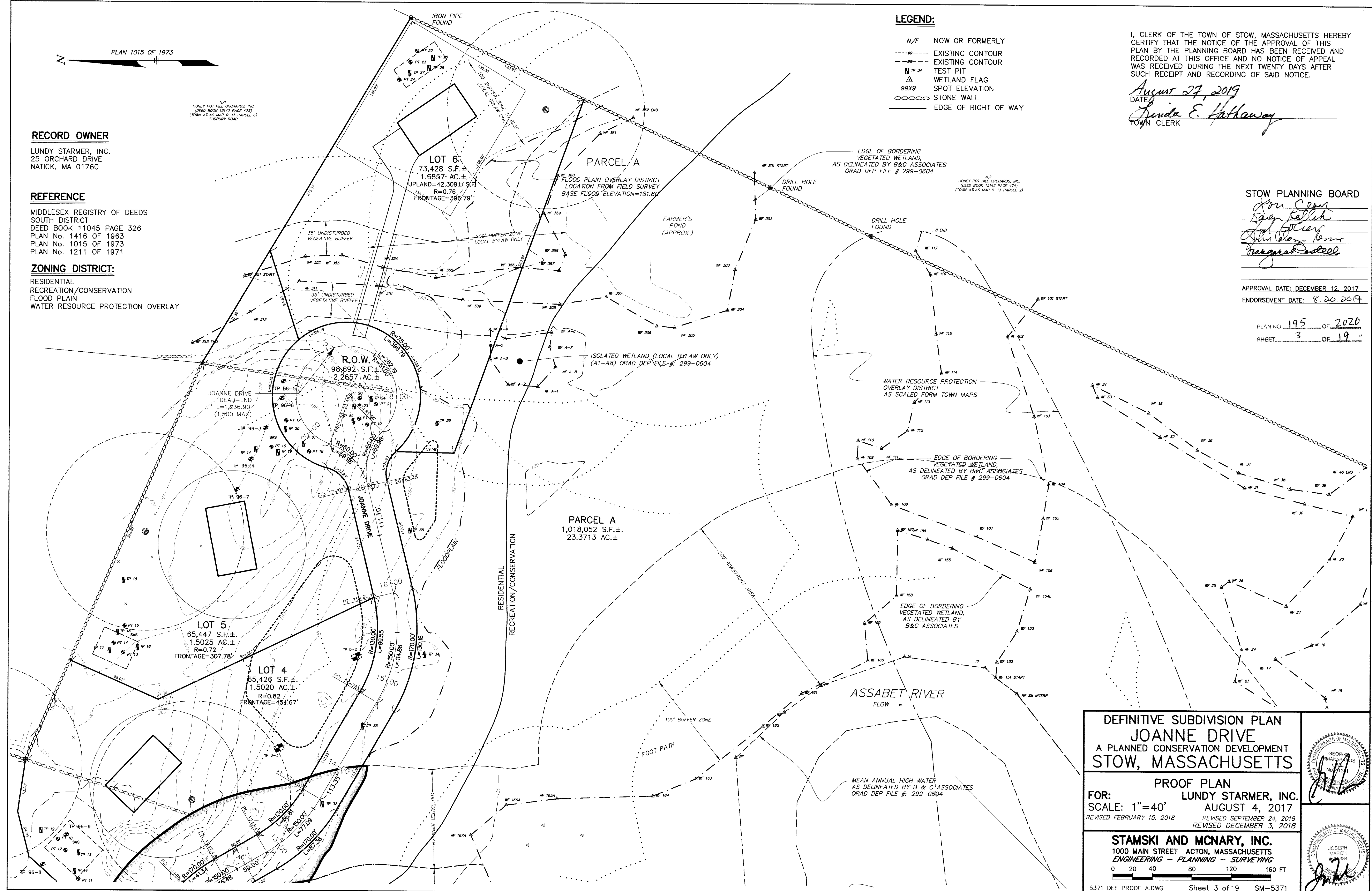
STOW PLANNING BOARD

Don Conn
Sgt. Kelly
John Conn
Margaret Steele

APPROVAL DATE: DECEMBER 12, 2017

ENDORSEMENT DATE: 8.20.2019

PLAN NO. 195 OF 2020
SHEET 3 OF 19



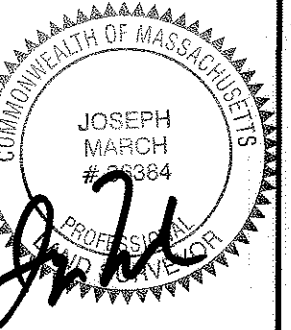
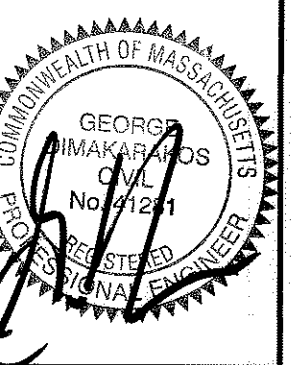
DEFINITIVE SUBDIVISION PLAN
JOANNE DRIVE
A PLANNED CONSERVATION DEVELOPMENT
STOW, MASSACHUSETTS

PROOF PLAN
FOR: LUNDY STARMER, INC.
SCALE: 1"=40'
AUGUST 4, 2017
REVISED FEBRUARY 15, 2018
REVISED SEPTEMBER 24, 2018
REVISED DECEMBER 3, 2018

STAMSKI AND McNARY, INC.
1000 MAIN STREET ACTON, MASSACHUSETTS
ENGINEERING - PLANNING - SURVEYING

0 20 40 80 120 160 FT

5371 DEF PROOF A.DWG Sheet 3 of 19 SM-5371

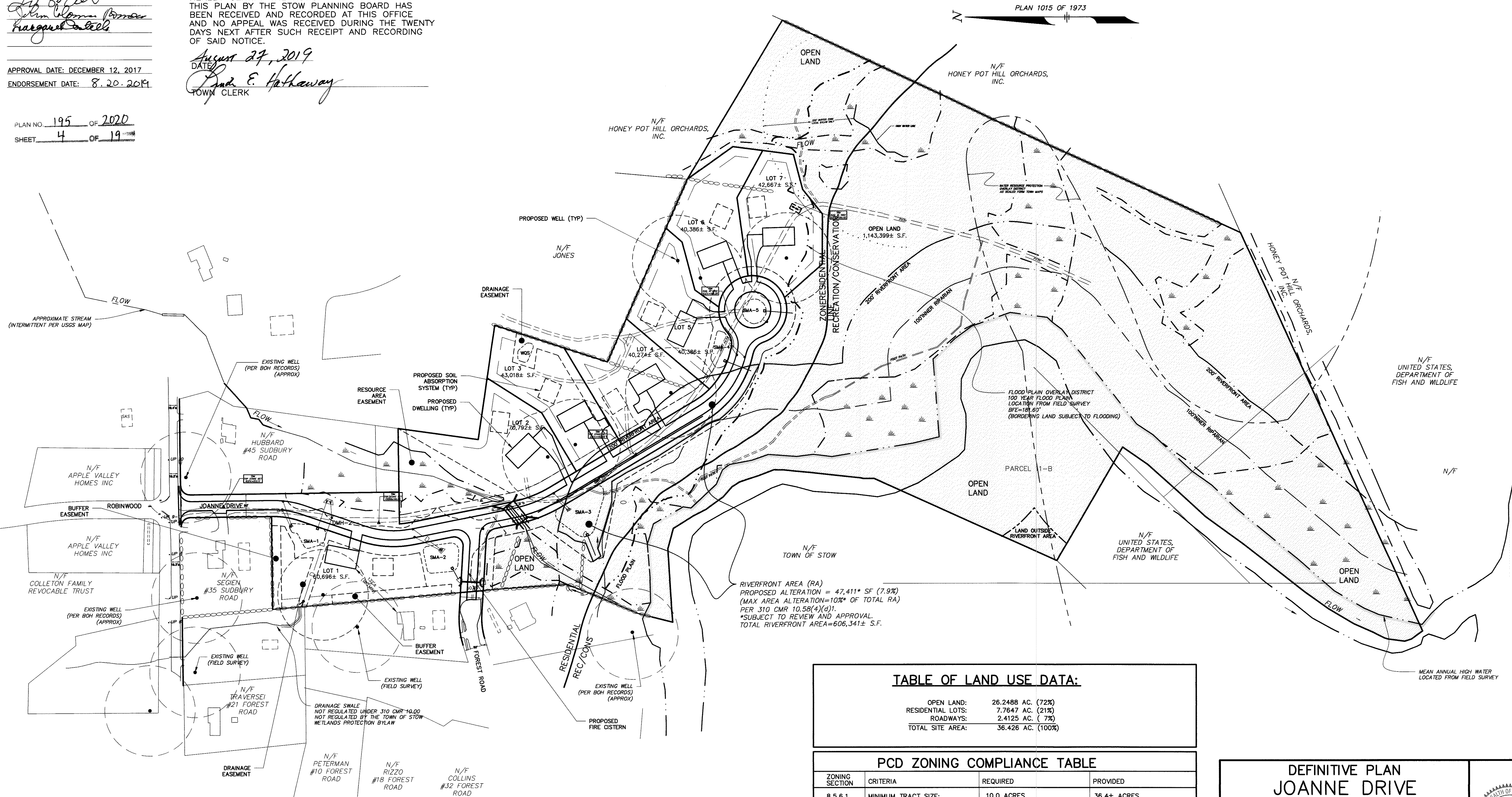


Lou Clark
Karen Kelleher
Liz Foster
John Thomas Brown
Margaret Deitch

DATE August 27, 2019

Ind. E. Hathaway
TOWN CLERK

PLAN NO. 195 OF 2020
SHEET 4 OF 19



OPEN LAND:	26.2488 AC.	(72%)
RESIDENTIAL LOTS:	7.7647 AC.	(21%)
ROADWAYS:	2.4125 AC.	(7%)
TOTAL SITE AREA:	36.426 AC.	(100%)

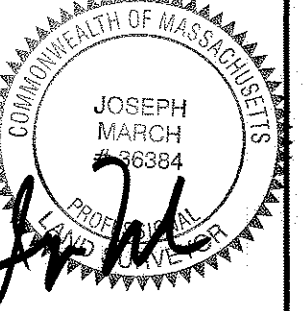
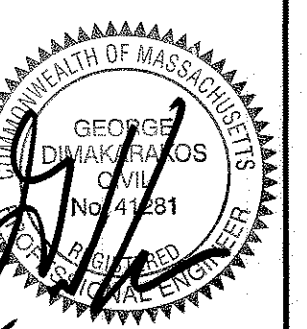
ZONING SECTION	CRITERIA	REQUIRED	PROVIDED
8.5.6.1	MINIMUM TRACT SIZE:	10.0 ACRES	36.4± ACRES
8.5.6.2	NUMBER OF LOTS	7 ALLOWED	7 PROVIDED
8.5.14.2	DIMENSIONAL REQUIREMENTS FOR OPEN LAND	60% OF TOTAL PCD AREA 36.4 x 0.6= 21.84± AC. WETLANDS: <10.92 AC. (50%)	[26.2488/36.4]= (72%) 26.2488 AC. PROVIDED WETLANDS = 8.2± ACRES 8.2± AC. < 10.92± AC. (OK)

(ZONING BYLAW SEC. 3.8.1.10)
(ZONING BYLAW SEC. 8.5)
(ZONING BYLAW SEC. 8.9)

REVISED SEPTEMBER 24, 2018
REVISED DECEMBER 3, 2018

0 50 100 200 300 400 FT

5371 DEF PCD_B.DWG Sheet 4 of 19 SM-5371



PLAN NO. 195 OF 2020
SHEET 6 OF 19

N/F
HONEY POT HILL ORCHARDS, INC.
(DEED BOOK 13142 PAGE 473)
(TOWN ATLAS MAP R-13 PARCEL 6)
SUDBURY ROAD

DATUM

N.A.V.D OF 1988.

ZONING DISTRICT:

RESIDENTIAL
RECREATION/CONSERVATION
FLOOD PLAIN
WATER RESOURCE PROTECTION OVERLAY

STOW PLANNING BOARD

Lore Clark
Karen Sellers
Liz Allen
John Thomas Brown
Margaret DeLoe

APPROVAL DATE: 12.12.2017
ENDORSEMENT DATE: 8.20.2019

I, CLERK OF THE TOWN OF STOW, MASSACHUSETTS
HEREBY CERTIFY THE NOTICE OF THE APPROVAL OF
THIS PLAN BY THE STOW PLANNING BOARD HAS
BEEN RECEIVED AND RECORDED AT THIS OFFICE
AND NO APPEAL WAS RECEIVED DURING THE TWENTY
DAYS NEXT AFTER SUCH RECEIPT AND RECORDING
OF SAID NOTICE.

August 27 2019
DATE
Dorinda E. Hathaway
TOWN CLERK

N/F
HONEY POT HILL ORCHARDS, INC.
(DEED BOOK 13142 PAGE 474)
(TOWN ATLAS MAP R-13 PARCEL 2)

DEFINITIVE SUBDIVISION PLAN
JOANNE DRIVE
A PLANNED CONSERVATION DEVELOPMENT
STOW, MASSACHUSETTS

**NATURAL FEATURES &
EXISTING CONDITIONS PLAN**
FOR: **LUNDY STARMER, INC.**
SCALE: 1"=40' AUGUST 4, 2017
REVISED FEBRUARY 15, 2018
REVISED SEPTEMBER 24, 2018
REVISED DECEMBER 3, 2018

STAMSKI AND MCNARY, INC.
1000 MAIN STREET ACTON, MASSACHUSETTS
ENGINEERING - PLANNING - SURVEYING

0 20 40 80 120 160 FT

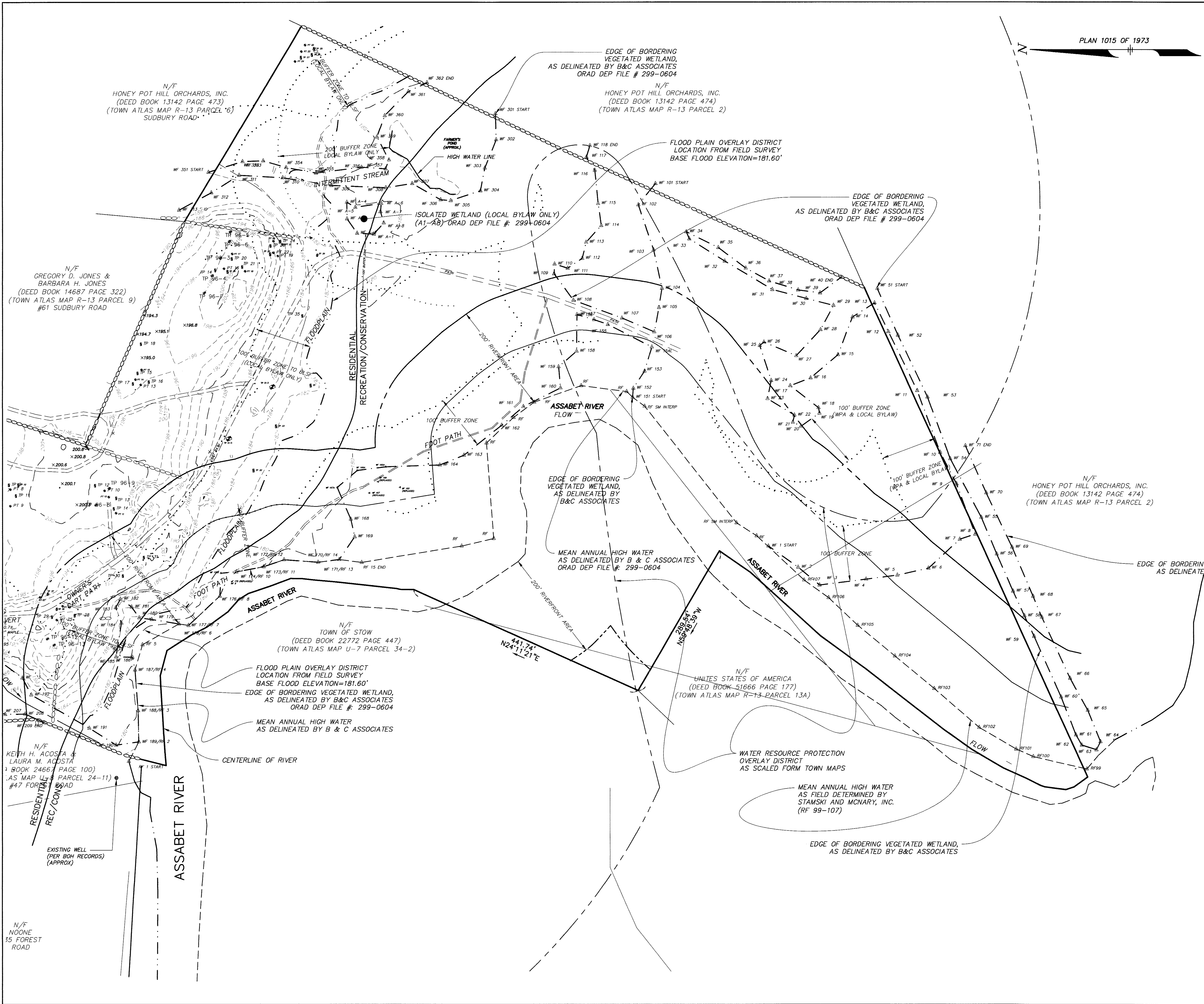
5371 DEF EXIST.DWG Sheet 6 of 19 SM-537

COMMONWEALTH OF MASSACHUSETTS
 GEORGE DIMAKRAKOS
 CIVIL
 No. 41281
 REGISTERED PROFESSIONAL ENGINEER

3

COMMONWEALTH OF MASSACHUSETTS
JOSEPH
MARCH
368
PROFESSIONAL
LIBRARY

195 of 2020 6/19



STOW PLANNING BOARD

Fori Clark
Gregory Kelleher
John Colman
Harmon D. Stoll

PLAN NO. 195 OF 2020
SHEET 7 OF 19

APPROVAL DATE: 12.12.2017
ENDORSEMENT DATE: 8.20.2019

I, CLERK OF THE TOWN OF STOW, MASSACHUSETTS
HEREBY CERTIFY THE NOTICE OF THE APPROVAL OF
THIS PLAN BY THE STOW PLANNING BOARD HAS
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AND NO APPEAL WAS RECEIVED DURING THE TWENTY
DAYS NEXT AFTER SUCH RECEIPT AND RECORDING
OF SAID NOTICE.

August 27, 2019
DATE
Brenda E. Hathaway
TOWN CLERK

DATUM

N.A.V.D OF 1988.

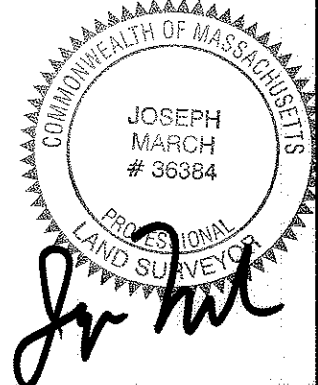
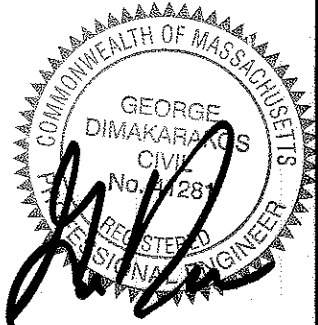
ZONING DISTRICT:

RESIDENTIAL
RECREATION/CONSERVATION
FLOOD PLAIN
WATER RESOURCE PROTECTION OVERLAY

DEFINITIVE SUBDIVISION PLAN
JOANNE DRIVE
A PLANNED CONSERVATION DEVELOPMENT
STOW, MASSACHUSETTS

NATURAL FEATURES &
EXISTING CONDITIONS PLAN
FOR: LUNDY STARMER, INC.
SCALE: 1"=80'
REVISED FEBRUARY 15, 2018
AUGUST 4, 2017
REVISED SEPTEMBER 24, 2018
REVISED DECEMBER 3, 2018

STAMSKI AND MCNARY, INC.
1000 MAIN STREET ACTON, MASSACHUSETTS
ENGINEERING - PLANNING - SURVEYING
0 40 80 160 320 FT
5371 DEF EXIST.DWG Sheet 7 of 19 SM-5371



I, CLERK OF THE TOWN OF STOW, MASSACHUSETTS HEREBY CERTIFY THAT THE NOTICE OF THE APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE NEXT TWENTY DAYS AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

August 27, 2019
DATE

Priscilla E. Hathaway
TOWN CLERK

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

8/20/19
DATE

John W. Hall
REGISTERED PROFESSIONAL LAND SURVEYOR

STOW PLANNING BOARD

For Clark
Ray Bell
John G. G. G.
Margaret Sells

APPROVAL DATE: 10.12.2017

ENDORSEMENT DATE: 8.20.2019

LEGEND:

- N/F NOW OR FORMERLY
- EDGE OF ASSABET RIVER
- PROPERTY LINE
- EASEMENT LINE
- FLOOD PLAIN
- EDGE OF WETLANDS
- WETLAND FLAG
- STONE WALL
- EDGE OF PATH

RECORD OWNER

LUNDY STARMER, INC.
25 ORCHARD DRIVE
NATICK, MA 01760

REFERENCE

MIDDLESEX REGISTRY OF DEEDS
SOUTH DISTRICT
DEED BOOK 11045 PAGE 326
PLAN No. 1416 OF 1963
PLAN No. 1015 OF 1973
PLAN No. 1211 OF 1971

ZONING DISTRICT:

RESIDENTIAL
RECREATION/CONSERVATION
FLOOD PLAIN
WATER RESOURCE PROTECTION OVERLAY

NOTES:

SEE NOTES ON SHEET 10 OF 19

PROPOSED IRON PIN/PIP
TO BE SET
(TYPICAL)
(SEE NOTE 11.)
N/F
GREGORY D. JONES &
BARBARA H. JONES
(DEED BOOK 14687 PAGE 322)
(TOWN ATLAS MAP R-13 PARCEL 9)
#61 SUDBURY ROAD

PROPOSED IRON PIN/PIP
TO BE SET
(TYPICAL)
(SEE NOTE 11.)
S07°48'05"W
178.53'

LOT 2
70,792 S.F.±
1.6252 AC.±
(R = 0.74)

EASEMENT 2A
L=17.98'
R=155.00'

EASEMENT 2
L=21.68'
R=175.00'

R.O.W.
105,090 S.F.±
2.4125 AC.±

EASEMENT 1
L=17.98'
R=155.00'

LOT 1
60,696 S.F.±
1.3934 AC.±
(R = 0.70)

EASEMENT 1
L=17.98'
R=155.00'

EXISTING WELL
(FIELD SURVEY)

STONE BOUND FOUND

STONE BOUND FOUND

DRAINAGE SWALE
NOT REGULATED UNDER 310 CMR 10.00
NOT REGULATED BY THE TOWN OF STOW
WETLANDS PROTECTION BYLAW

PLAN 1015 OF 1973

PLAN NO. 195 OF 2020
SHEET 8 OF 19

LOT 5
40,386 S.F.±
0.9271 AC.±
(R = 0.83)

LOT 3
43,018 S.F.±
0.9875 AC.±
(R = 0.78)

LOT 4
40,274 S.F.±
0.9246 AC.±
(R = 0.75)

JOANNE DRIVE

OPEN LAND

ASSABET RIVER

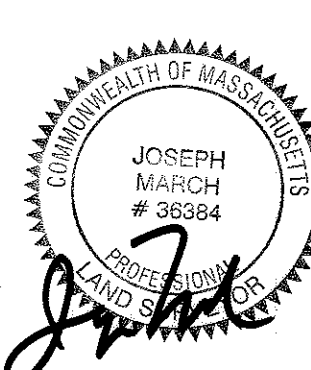
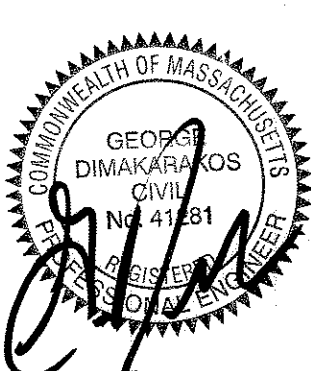
DEFINITIVE SUBDIVISION PLAN
JOANNE DRIVE
A PLANNED CONSERVATION DEVELOPMENT
STOW, MASSACHUSETTS

RECORD PLAN

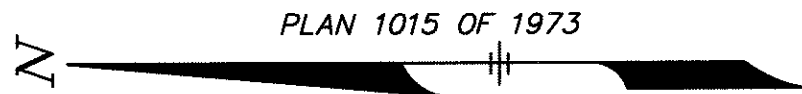
FOR: LUNDY STARMER, INC.
SCALE: 1"=40'
REVISED FEBRUARY 15, 2018
AUGUST 4, 2017
REVISED SEPTEMBER 24, 2018
REVISED DECEMBER 3, 2018

STAMSKI AND MCNARY, INC.
1000 MAIN STREET ACTON, MASSACHUSETTS
ENGINEERING - PLANNING - SURVEYING

5371 DEF PCD RECORD.DWG Sheet 8 of 19 SM-5371



195 of 2020 8/19



N/F
HONEY POT HILL ORCHARDS, INC.
(DEED BOOK 13142 PAGE 473)
(TOWN ATLAS MAP R-13 PARCEL 6)
SUDBURY ROAD

RECORD OWNER

LUNDY STARMER, INC.
25 ORCHARD DRIVE
NATCI, MA 01760

REFERENCE

MIDDLESEX REGISTRY OF DEEDS
SOUTH DISTRICT
DEED BOOK 11045 PAGE 326
PLAN No. 1416 OF 1963
PLAN No. 1015 OF 1973
PLAN No. 1211 OF 1971

ZONING DISTRICT:

RESIDENTIAL
RECREATION/CONSERVATION
FLOOD PLAIN
WATER RESOURCE PROTECTION OVERLAY

NOTES:

SEE NOTES ON SHEET 10 OF 19

I, CLERK OF THE TOWN OF STOW, MASSACHUSETTS HEREBY
CERTIFY THAT THE NOTICE OF THE APPROVAL OF THIS
PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND
RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL
WAS RECEIVED DURING THE NEXT TWENTY DAYS AFTER
SUCH RECEIPT AND RECORDING OF SAID NOTICE.

August 27, 2019
DATE

Deirdre E. Hathaway
TOWN CLERK

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED
IN CONFORMITY WITH THE RULES AND REGULATIONS
OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH
OF MASSACHUSETTS.

8/20/19
DATE

John McIl
REGISTERED PROFESSIONAL LAND SURVEYOR

PLAN NO. 195 OF 2020
SHEET 9 OF 19

LEGEND:

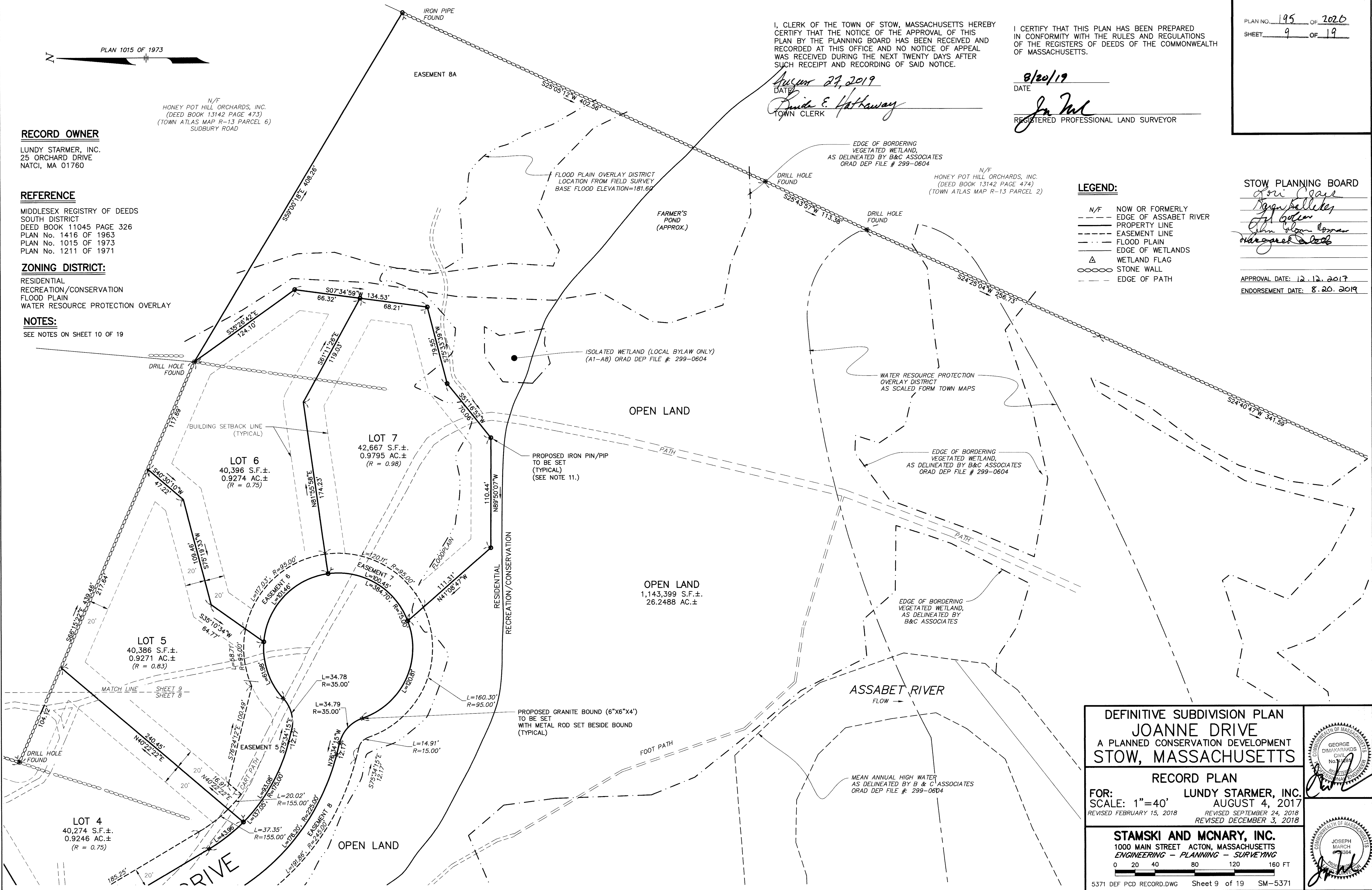
N/F NOW OR FORMERLY
--- EDGE OF ASSABET RIVER
--- PROPERTY LINE
--- EASEMENT LINE
--- FLOOD PLAIN
--- EDGE OF WETLANDS
△ WETLAND FLAG
○○○○ STONE WALL
--- EDGE OF PATH

STOW PLANNING BOARD

Doni Coar
Ryan Bell
John Wilson
Margaret S. Cobb

APPROVAL DATE: 12.12.2017

ENDORSEMENT DATE: 8.20.2019



DEFINITIVE SUBDIVISION PLAN
JOANNE DRIVE
A PLANNED CONSERVATION DEVELOPMENT
STOW, MASSACHUSETTS

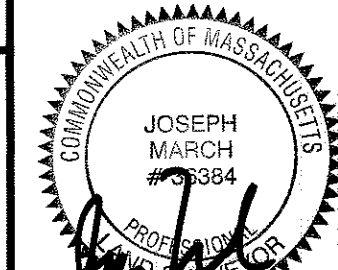
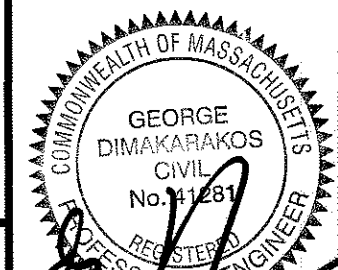
RECORD PLAN

FOR: LUNDY STARMER, INC.
SCALE: 1"=40' AUGUST 4, 2017
REVISED FEBRUARY 15, 2018 REVISED SEPTEMBER 24, 2018
REVISED DECEMBER 3, 2018

STAMSKI AND McNARY, INC.
1000 MAIN STREET ACTON, MASSACHUSETTS
ENGINEERING - PLANNING - SURVEYING

0 20 40 80 120 160 FT

5371 DEF PCD RECORD.DWG Sheet 9 of 19 SM-5371



195 of 2020 9/19

- 1.) THIS PLAN IS BASED ON THE REFERENCED PLANS AND AN ON THE
GROUND SURVEY. THE CERTIFICATION HEREON IS INTENDED TO MEET
THE REQUIREMENTS OF THE REGISTRY OF DEEDS ONLY, AND IS NOT
CERTIFICATION TO THE TITLE OR OWNERSHIP OF THE PROPERTY SHOWN,
OR AS TO THE EXISTENCE OF UNRECORDED EASEMENTS. OWNERSHIP OF
ABUTTING PROPERTIES ARE FROM CURRENT ASSESSOR'S RECORDS.
- 2.) THIS PLAN IS MEANT AND INTENDED TO SUPERSEDE ALL PLANS WHICH
PREDATE THE ENDORSEMENT.
- 3.) APPROVED _____, SUBJECT TO THE PROVISIONS SET
FORTH IN A COVENANT, EXECUTED _____ TO BE
RECORDED HERewith.
- 4.) THIS PLAN IS SUBJECT TO AN EROSION CONTROL SPECIAL PERMIT
GRANTED BY THE STOW PLANNING BOARD WITH CONDITIONS AND
LIMITATIONS, DATED _____.
- 5.) THIS PLAN MAY BE SUBJECT TO AN AFFORDABLE HOUSING SPECIAL
PERMIT GRANTED BY THE STOW PLANNING BOARD WITH CONDITIONS AND
LIMITATIONS, DATED _____.
- 6.) THIS PLAN IS SUBJECT TO A PLANNED CONSERVATION DEVELOPMENT
SPECIAL PERMIT GRANTED BY THE STOW PLANNING BOARD WITH
CONDITIONS AND LIMITATIONS, DATED DECEMBER 12, 2017.
- 7.) THE DISTURBANCE AND/OR ALTERATION OF LAND WITHIN "BORDERING
VEGETATED WETLANDS" AND "ISOLATED WETLANDS" SHALL BE LIMITED
TO 5,000 SQUARE FEET.
- 8.) SEE SECTION 8.5.7 FOR DIMENSIONAL REQUIREMENTS.
- 9.) FURTHER SUBDIVISION OF THIS LAND TO CREATE NEW LOTS IS
PROHIBITED.
- 10.) THE LIMIT OF THE FLOOD PLAIN OVERLAY DISTRICT IS BASED ON THE
ELEVATION OBTAINED FROM THE FEMA FLOOD INSURANCE STUDY; MAP
REVISED: JUNE 7, 2014.
- 11.) WHERE REQUIRED, IRON MONUMENTATION SHALL BE INSTALLED TO A
HEIGHT OF AT LEAST SIX (6) TO TWELVE (12) INCHES ABOVE GROUND
LEVEL, UNLESS OTHERWISE APPROVED BY THE CONSERVATION
COMMISSION OR ITS AGENT OR AN AGENT OF THE HOLDER OF A
CONSERVATION RESTRICTION AS APPLICABLE.

PLAN NO. 195 OF 2020
SHEET 10 OF 19

N/F	NOW OR FORMERLY
----	EDGE OF ASSABET RIVER
=====	PROPERTY LINE
-----	EASEMENT LINE
----	FLOOD PLAIN
=====	EDGE OF WETLANDS
△	WETLAND FLAG
○○○○	STONE WALL
----	EDGE OF PATH

Bori Clark
Suzanne Lelkes
Jill Golden
Jim Calomen-Lomax
Margaret Colella

ENDORSEMENT DATE: 8.20.2019

N/F
HONEY POT HILL ORCHARDS, INC.
(DEED BOOK 13142 PAGE 474)
(TOWN ATLAS MAP R-13 PARCEL 2)

August 27, 2019
DATE
Gina E. Hathaway
TOWN CLERK



REGISTERED PROFESSIONAL LAND SURVEYOR

FOR: LUNDY STARMER, INC.
SCALE: 1"=80' AUGUST 4, 2017
REVISED FEBRUARY 15, 2018 REVISED SEPTEMBER 24, 2018
REVISED DECEMBER 3, 2018

0 40 80 160 320 FT

5371 DEF PCD RECORD.DWG Sheet 10 of 19 SM-5371

COMMONWEALTH OF MASSACHUSETTS
 GEORGE DIMAKARAKOS
 CIVIL
 No. 4128
 REGISTERED PROFESSIONAL ENGINEER



JOSEPH
MARCH
6384
PROVIDENCE
LAWYER
SURVEYOR

STOW PLANNING BOARD

John Clark
Roger Bellet
John Glavin
John Glavin
John Glavin

APPROVAL DATE: DECEMBER 12, 2017

ENDORSEMENT DATE: 8.20.2019

I, CLERK OF THE TOWN OF STOW, MASSACHUSETTS
 HEREBY CERTIFY THE NOTICE OF THE APPROVAL OF
 THIS PLAN BY THE STOW PLANNING BOARD HAS
 BEEN RECEIVED AND RECORDED AT THIS OFFICE
 AND NO APPEAL WAS RECEIVED DURING THE TWENTY
 DAYS NEXT AFTER SUCH RECEIPT AND RECORDING
 OF SAID NOTICE.

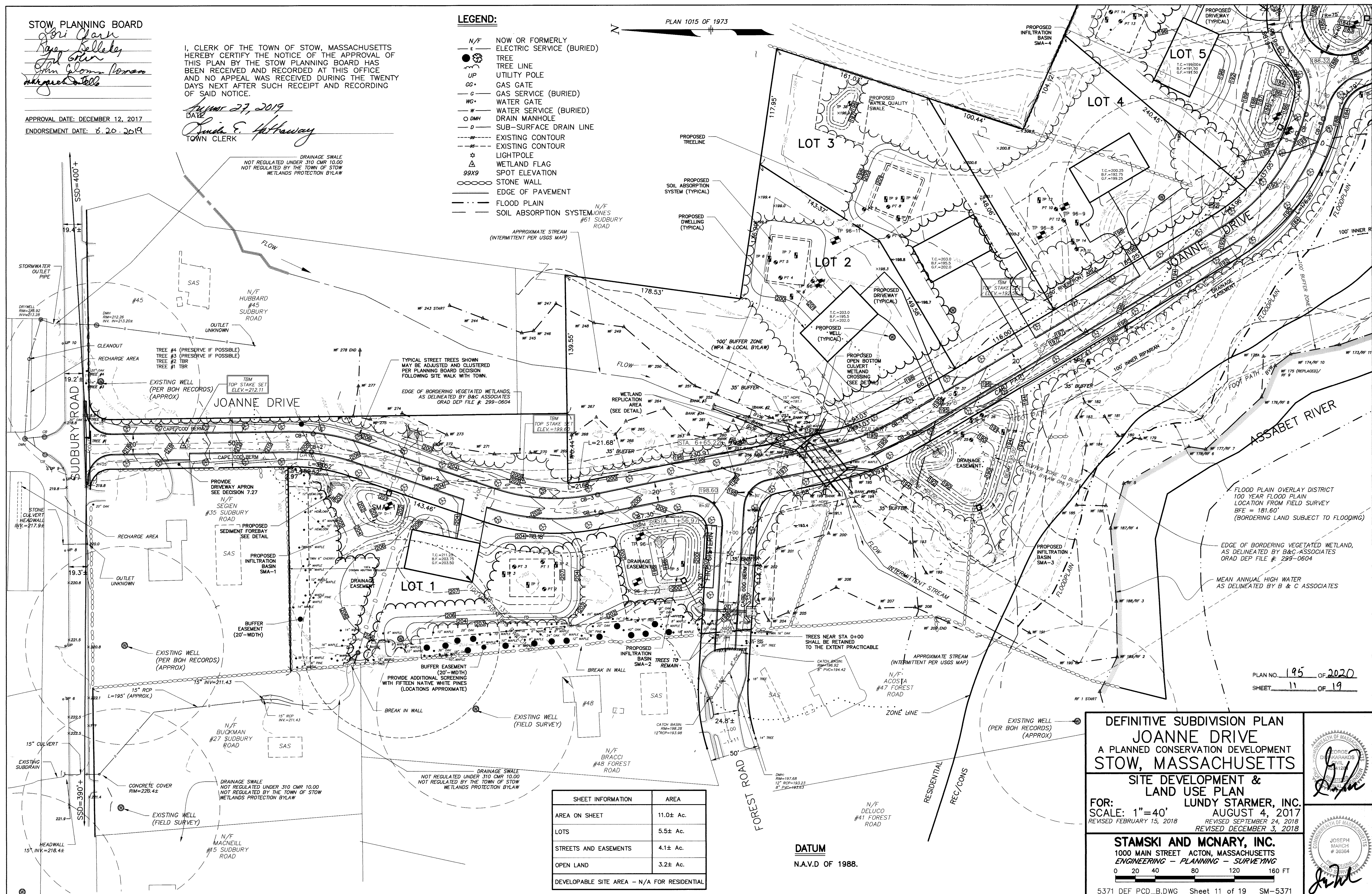
James E. Hathaway
 TOWN CLERK

James E. Hathaway
 TOWN CLERK

LEGEND:

- N/F NOW OR FORMERLY
- E ELECTRIC SERVICE (BURIED)
- TREE
- TREE LINE
- UP UTILITY POLE
- GG* GAS GATE
- G GAS SERVICE (BURIED)
- WG* WATER GATE
- W WATER SERVICE (BURIED)
- DMH DRAIN MANHOLE
- D SUB-SURFACE DRAIN LINE
- - - EXISTING CONTOUR
- - - EXISTING CONTOUR
- ☆ LIGHTPOLE
- △ WETLAND FLAG
- 99X9 SPOT ELEVATION
- STONE WALL
- EDGE OF PAVEMENT
- FLOOD PLAIN
- SOIL ABSORPTION SYSTEM/ONES

PLAN 1015 OF 1973



195 of 2020 11/19

LEGEND:

- N/F NOW OR FORMERLY
- E ELECTRIC SERVICE (BURIED)
- TREE
- UP UTILITY POLE
- GC+ GAS GATE
- G GAS SERVICE (BURIED)
- WG+ WATER GATE
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- ===== EDGE OF PAVEMENT
- FLOOD PLAIN
- SOIL ABSORPTION SYSTEM

PLAN 1015 OF 1973

FLOOD PLAIN OVERLAY DISTRICT
100 YEAR FLOOD PLAIN
LOCATION FROM FIELD SURVEY
BFE = 181.60'
(BORDERING LAND SUBJECT TO FLOODING)

EDGE OF BORDERING
VEGETATED WETLAND,
AS DELINEATED BY B&C ASSOCIATES
ORAD DEP FILE # 299-0604

N/F
HONEY POT HILL ORCHARDS,
INC.

STOW PLANNING BOARD

John Clark
Spencer Kelly
John Brown
Marquell Steele

APPROVAL DATE: DECEMBER 12, 2017

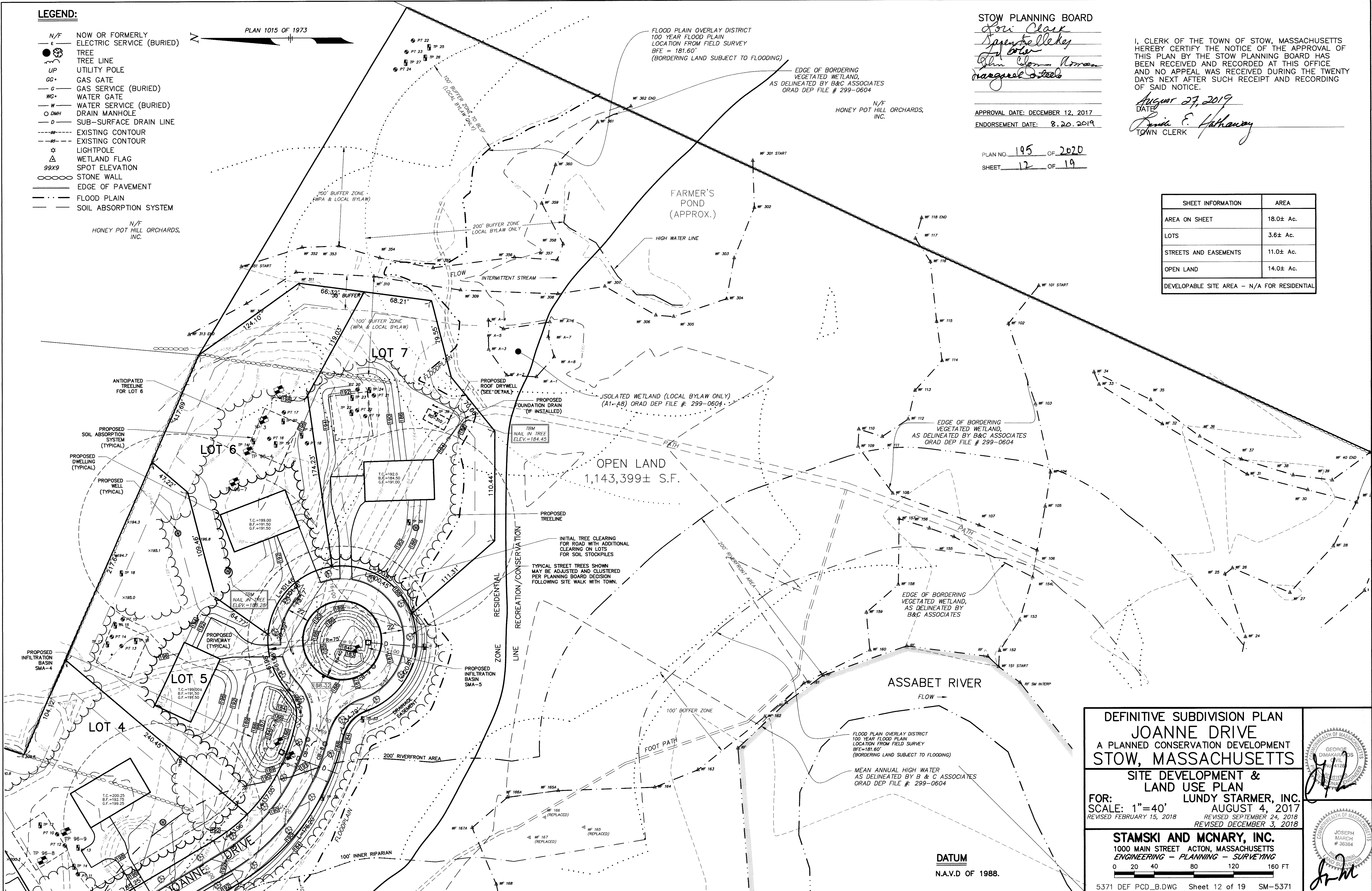
ENDORSEMENT DATE: 8.20.2019

PLAN NO. 195 OF 2020
SHEET 12 OF 19

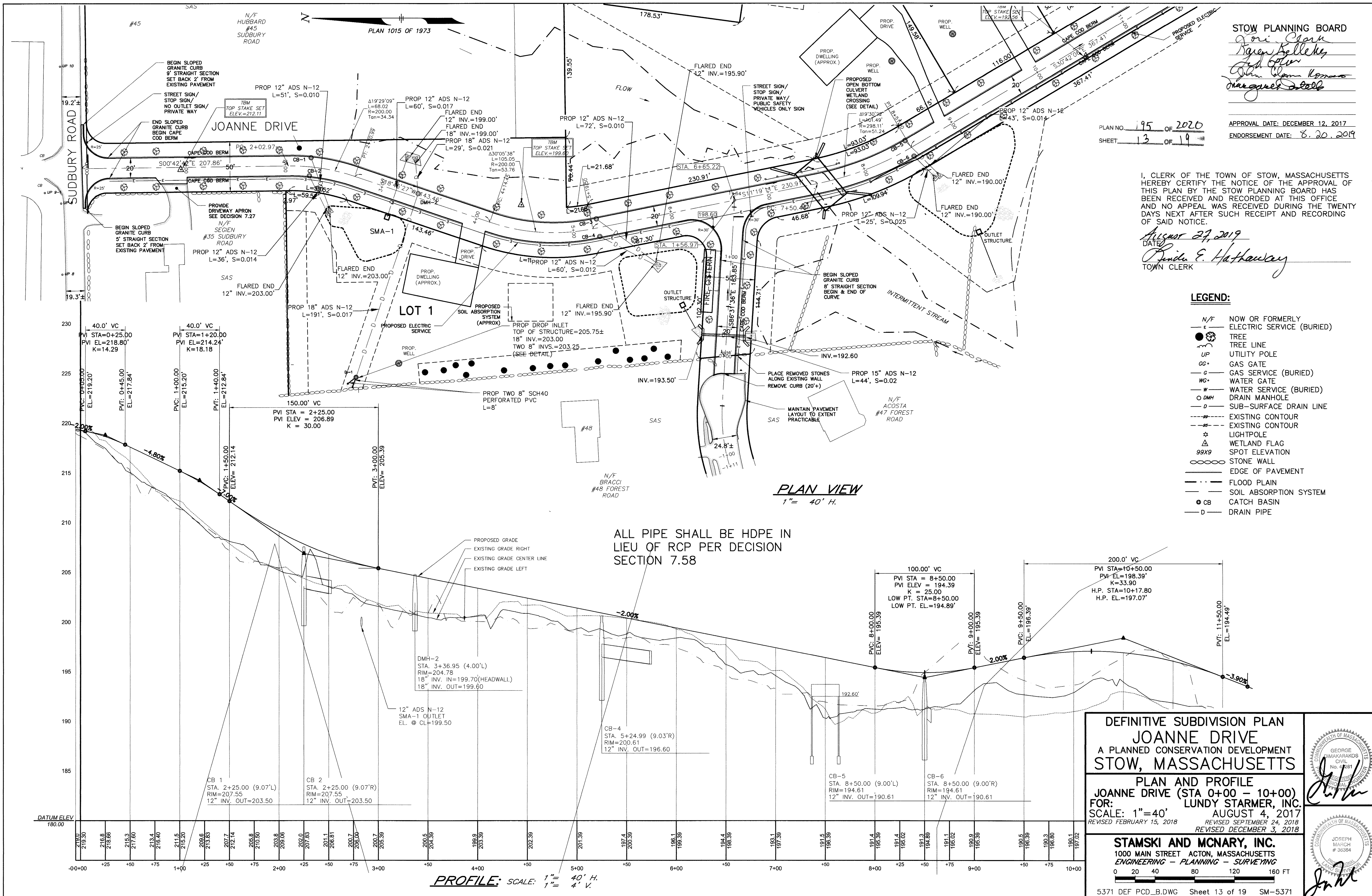
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August 27, 2019
DATE
David E. Hathaway
TOWN CLERK

SHEET INFORMATION	AREA
AREA ON SHEET	18.0± Ac.
LOTS	3.6± Ac.
STREETS AND EASEMENTS	11.0± Ac.
OPEN LAND	14.0± Ac.
DEVELOPABLE SITE AREA - N/A FOR RESIDENTIAL	



195 of 2020 12/19



STOW PLANNING BOARD

[Signatures]

PLAN NO. 195 OF 2020
SHEET 13 OF 19

APPROVAL DATE: DECEMBER 12, 2017
ENDORSEMENT DATE: 8.20.2019

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August 27, 2019
TOWN CLERK

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 - ☆ LIGHTPOLE
 - △ WETLAND FLAG
 - 99X9 SPOT ELEVATION
 - ○ ○ ○ ○ STONE WALL
 - EDGE OF PAVEMENT
 - FLOOD PLAIN
 - SOIL ABSORPTION SYSTEM
 - CB CATCH BASIN
 - D DRAIN PIPE

ALL PIPE SHALL BE HDPE IN LIEU OF RCP PER DECISION SECTION 7.58

DEFINITIVE SUBDIVISION PLAN
JOANNE DRIVE
A PLANNED CONSERVATION DEVELOPMENT
STOW, MASSACHUSETTS

PLAN AND PROFILE
JOANNE DRIVE (STA 0+00 - 10+00)
FOR: **LUNDY STARMER, INC.**
SCALE: 1"=40'
REVISED FEBRUARY 15, 2018
AUGUST 4, 2017
REVISED SEPTEMBER 24, 2018
REVISED DECEMBER 3, 2018

STAMSKI AND McNARY, INC.
1000 MAIN STREET ACTON, MASSACHUSETTS
ENGINEERING - PLANNING - SURVEYING
0 20 40 80 120 160 FT
5371 DEF PCD_B.DWG Sheet 13 of 19 SM-5371

GEORGE DIMAKAKAKOS
CIVIL
No. 6281

JOSEPH MARCH
#36384

195 of 2020 13/19

LEGEND:

- N/F NOW OR FORMERLY BURIED
- TREE
- TREE LINE
- UP UTILITY POLE
- GG* GAS GATE
- G GAS SERVICE (BURIED)
- WG* WATER GATE
- W WATER SERVICE (BURIED)
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STOW PLANNING BOARD

Fori Clark
Ryan Kelleher
John Blom-Kramer
Marquell Steele

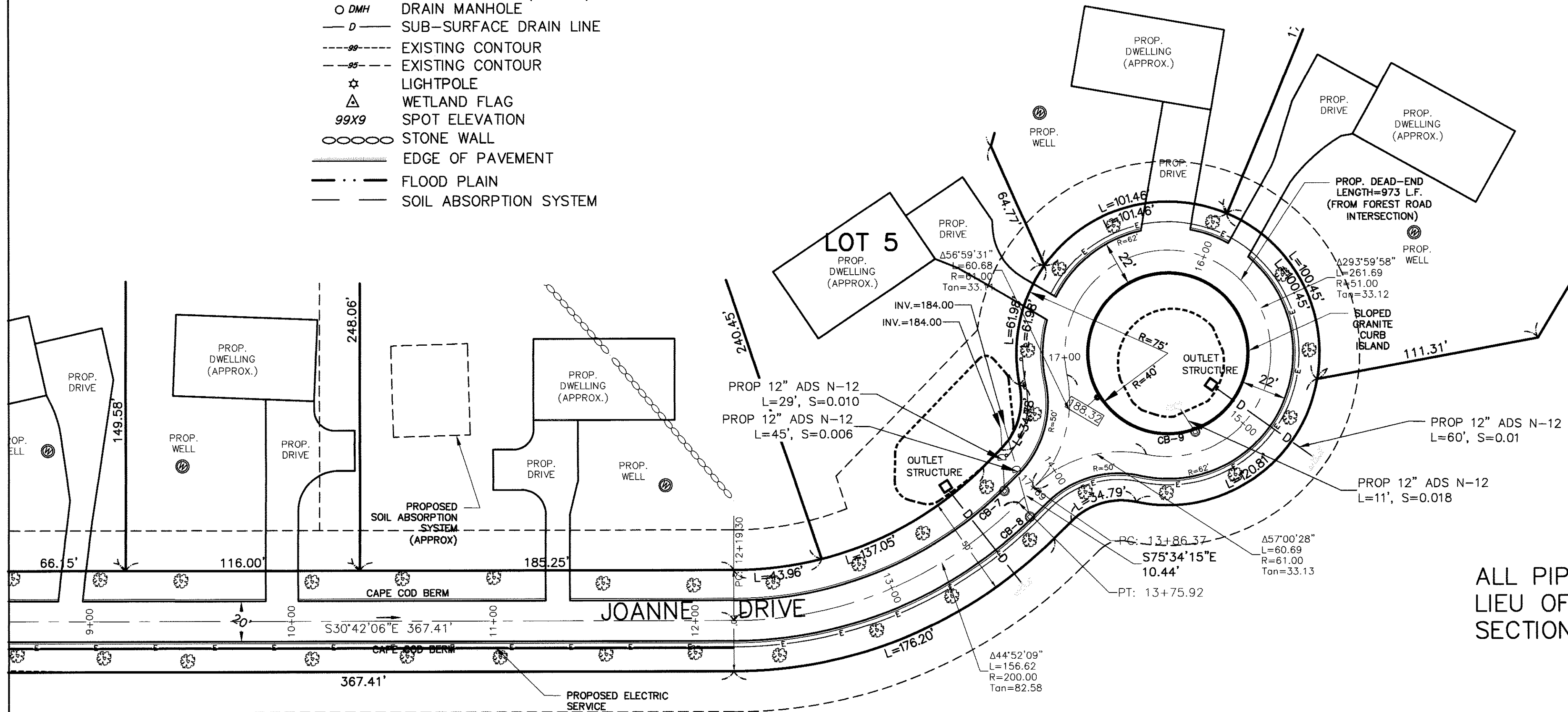
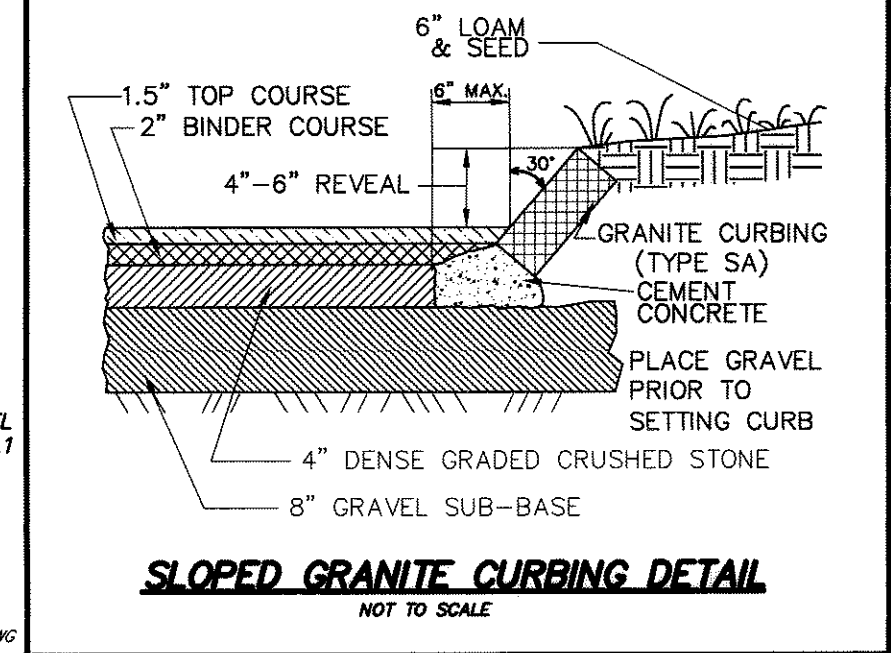
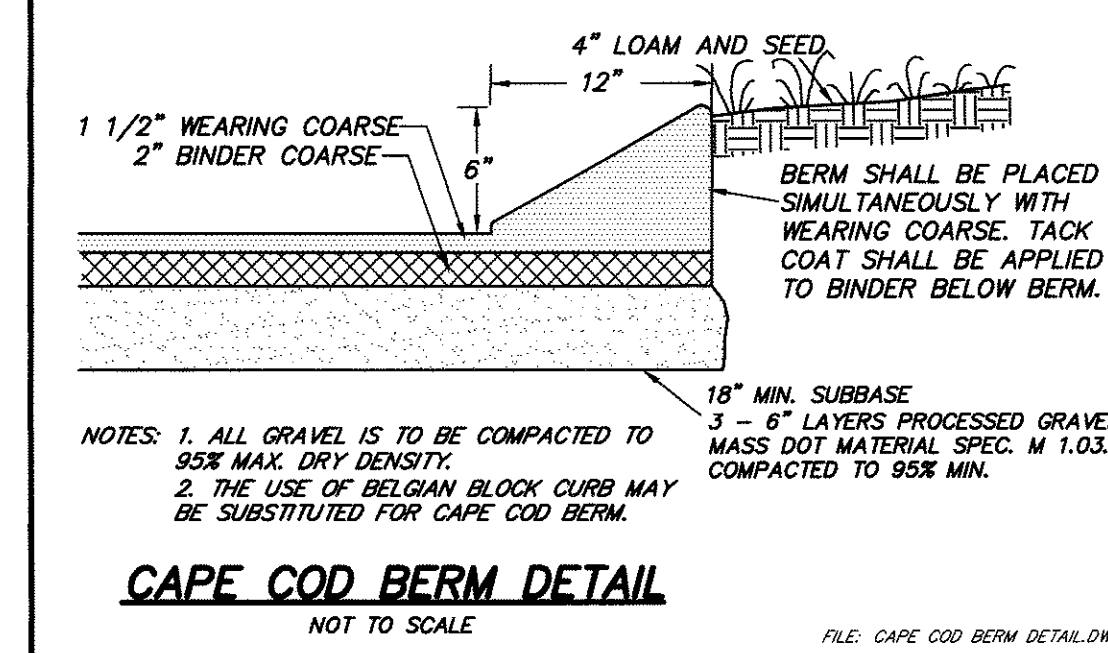
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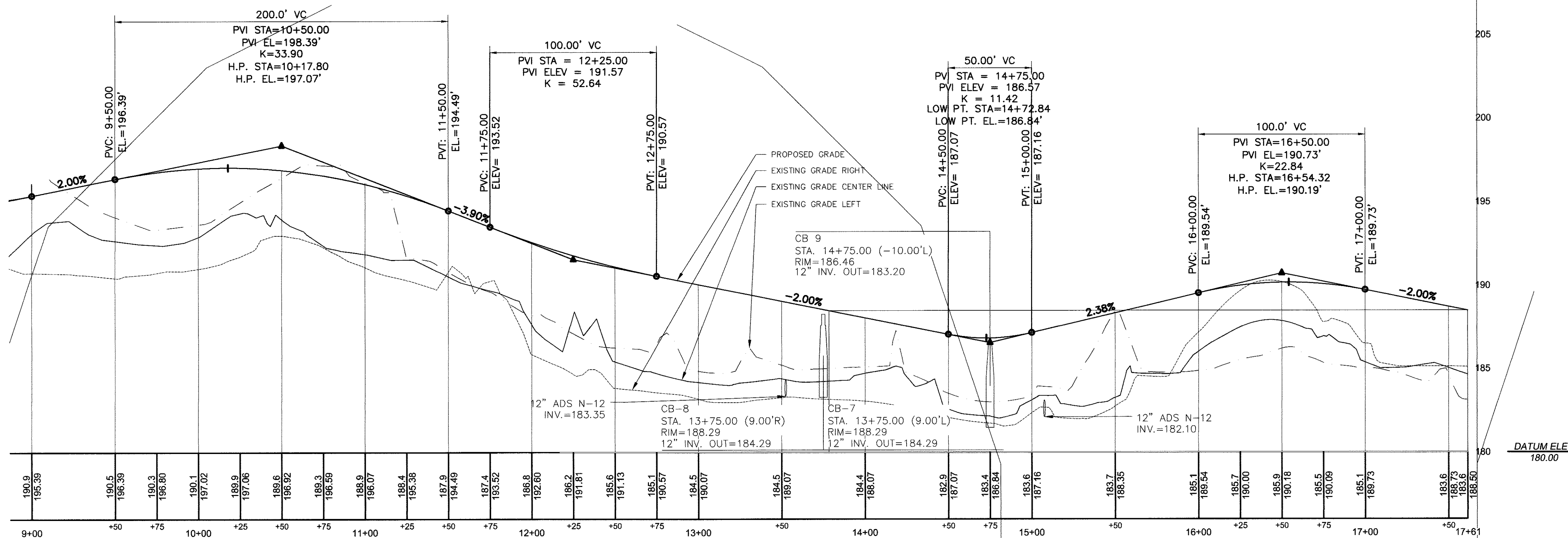
August 27, 2019
DATE
David E. Hathaway
TOWN CLERK

PLAN NO. 195 OF 2020
SHEET 14 OF 19

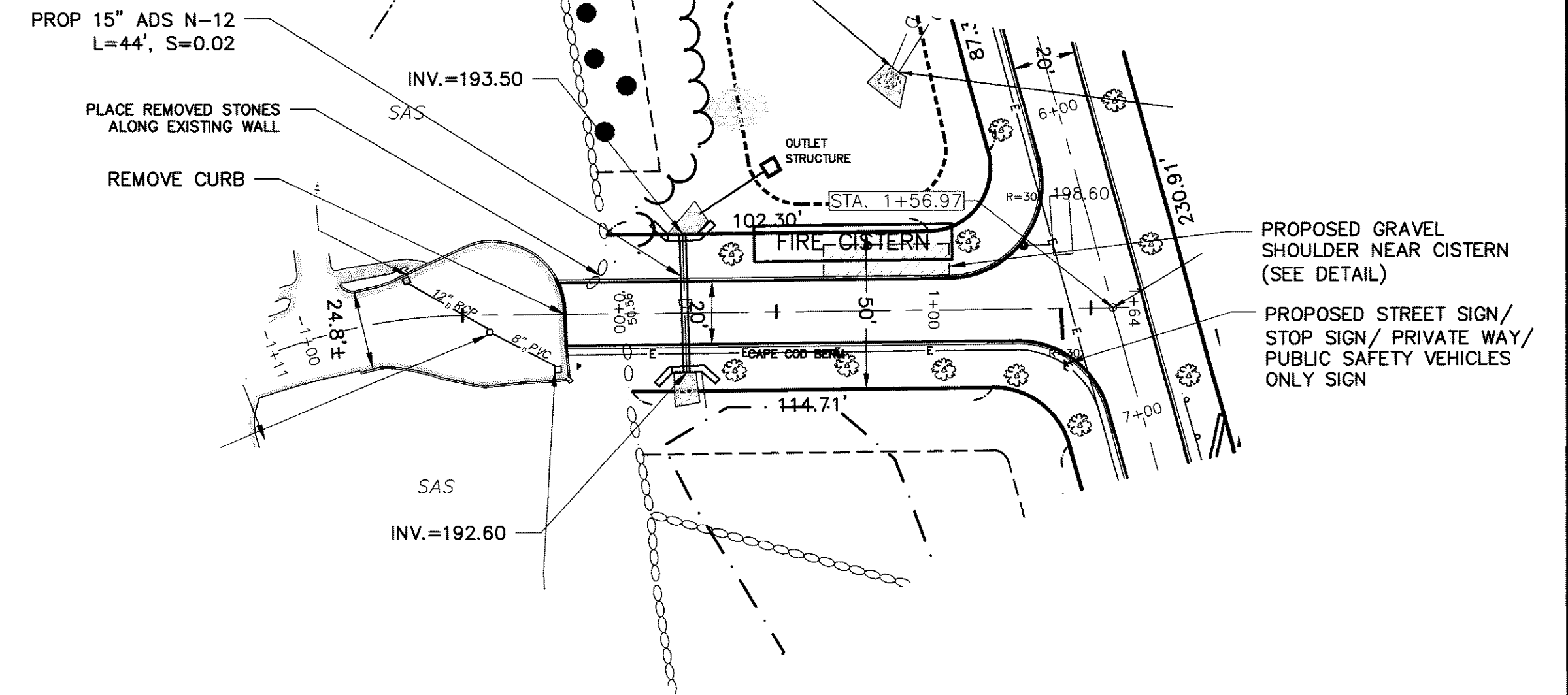


PLAN VIEW SCALE: 1" = 40' H.

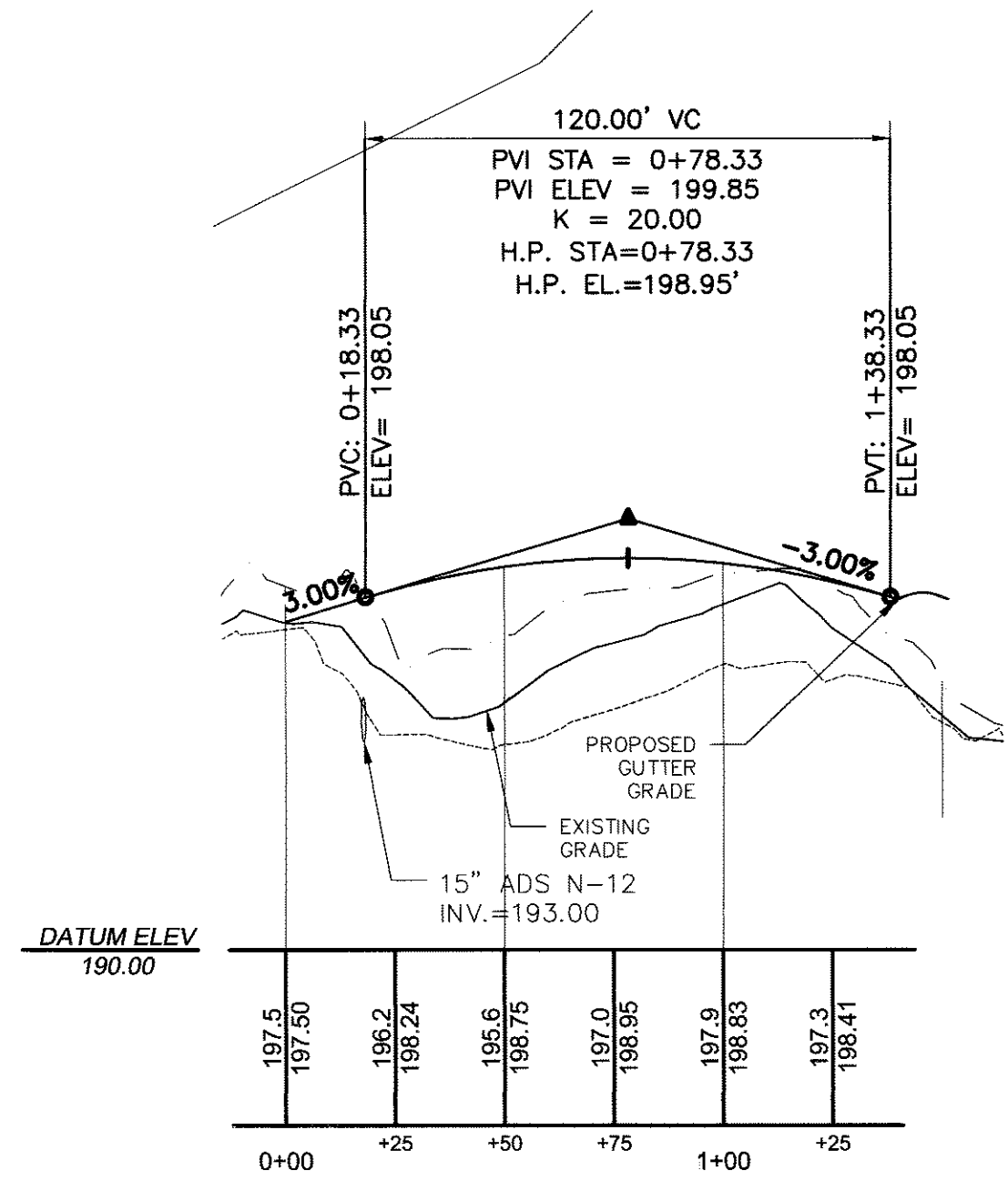
ALL PIPE SHALL BE HDPE IN LIEU OF RCP PER DECISION SECTION 7.58



PROFILE SCALE: 1" = 40' H., 1" = 4' V.



PLAN VIEW SCALE: 1" = 40' H.



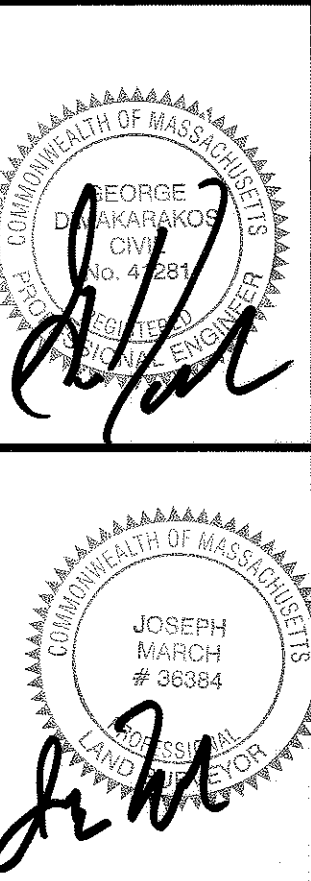
PROFILE SCALE: 1" = 40' H., 1" = 4' V.

DEFINITIVE SUBDIVISION PLAN
JOANNE DRIVE
A PLANNED CONSERVATION DEVELOPMENT
STOW, MASSACHUSETTS

PLAN AND PROFILE
JOANNE DRIVE & FOREST DRIVE EXT.
FOR: LUNDY STARMER, INC.
SCALE: 1"=40'
REVISED FEBRUARY 15, 2018
AUGUST 4, 2017
REVISED SEPTEMBER 24, 2018
REVISED DECEMBER 3, 2018

STAMSKI AND McNARY, INC.
1000 MAIN STREET ACTON, MASSACHUSETTS
ENGINEERING - PLANNING - SURVEYING

5371 DEF PCD_B.DWG Sheet 14 of 19 SM-5371



GENERAL NOTES:

- NO WORK ON THE SITE SHALL BEGIN PRIOR TO THE ENDORSEMENT AND RECORDING OF THE PLAN.
- A PRE-CONSTRUCTION CONFERENCE SHALL BE SCHEDULED WITH THE TOWN OF STOW ENGINEERING CONSULTANT.
- WRITTEN NOTICE SHALL BE SENT BY NOTIFIED MAIL TO THE TOWN OF STOW PLANNING BOARD ADVISING THE BOARD THAT CONSTRUCTION WITHIN AN APPROVED SUBDIVISION SHALL COMMENCE NOT SOONER THAN (7) DAYS FROM THE DATE THAT SUCH NOTICE IS MAILED TO THE BOARD. SUCH NOTICE SHALL BE SIGNED BY THE APPLICANT, SUBDIVIDER, DEVELOPER, OR OTHER AUTHORIZED REPRESENTATIVE OF THE RECORD OWNER OF THE SUBDIVISION.
- ALL UNDERGROUND UTILITIES SHOWN HERE WERE COMPILED ACCORDING TO AVAILABLE RECORD PLANS FROM VARIOUS UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY. ACTUAL LOCATIONS MUST BE DETERMINED BEFORE EXCAVATING, BLASTING, INSTALLING, BACK FILLING, GRADING OR PAVEMENT RESTORATION OR REPAIR. ALL UTILITY COMPANIES, PUBLIC AND PRIVATE MUST BE CONTACTED, INCLUDING THOSE IN CONTROL OF UTILITIES. SEE CHAPTER 370, ACTS OF 1963 MASS. WE ASSUME NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES OMITTED OR INACCURATELY SHOWN. BEFORE PLANNING FUTURE CONNECTIONS, THE APPROPRIATE UTILITY ENGINEERING DEPARTMENT MUST BE CONSULTED. THE CONTRACTOR SHALL NOTIFY PUBLIC UTILITIES COMPANIES, IN WRITING, AT LEAST 72 HOURS PRIOR TO DIGGING OR EXCAVATING ON PUBLIC OR PRIVATE PROPERTY. DIG SAFE TEL. NO. 1-888-344-7233
- ALL SUPPLEMENTARY DATA SUBMITTED UNDER THE [SUBDIVISION] RULES ARE AN INTEGRAL PART OF THE DEFINITIVE PLAN AND THAT NONCOMPLIANCE WITH THE PLAN AND PROFILES, UTILITIES, LAYOUTS, AND RESTRICTIVE COVENANTS WILL VOID THE APPROVAL STATUS; UNLESS, A WAIVER IS SPECIFICALLY APPROVED BY THE [PLANNING] BOARD IN WRITING.
- UNLESS OTHERWISE SPECIFIED ON THESE PLANS, ALL CONSTRUCTION METHODS AND MATERIALS SHALL COMPLY WITH SPECIFICATIONS OUTLINED IN THE TOWN OF STOW SUBDIVISION RULES AND REGULATIONS AS MOST RECENTLY AMENDED PRIOR TO THIS PLAN, EXCEPT AS WAIVED. ALL WORK SHALL BE CONDUCTED IN ACCORDANCE WITH THE TERMS OF THIS APPROVAL, AND SHALL CONFORM WITH AND BE LIMITED TO THE IMPROVEMENTS SHOWN ON THE ENDORSED PLAN.
- UNLESS OTHERWISE SPECIFIED ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO MASS. DOT STANDARD DETAILS AND SPECIFICATIONS AS AMENDED.

SITE WORK NOTES:

- THE LIMITS OF WORK FOR EACH PHASE SHALL BE CLEARLY MARKED IN THE FIELD PRIOR TO THE START OF CONSTRUCTION OR SITE CLEARING.
- EXCEPT DURING THE PERIOD OF INITIAL CLEARING AND GRUBBING, NO CONSTRUCTION OR CONTRACTOR'S VEHICLES SHALL BE PARKED ON PUBLIC STREETS DURING THE ENTIRE TIME OF CONSTRUCTION OF THE PROPOSED SUBDIVISION AND HOMES.
- THE ENTIRE AREA OF THE STREET SHALL BE CLEARED OF ALL TREES, STUMPS, BRUSH, ROOTS, BOULDERS, AND LIKE MATERIAL.
- ALL TREE STUMPS AND CONSTRUCTION DEBRIS SHALL BE PROPERLY REMOVED FROM THE SITE.
- ALL LOAM AND OTHER YIELDING MATERIAL SHALL BE REMOVED FROM THE ROADWAY AREA OF THE STREET AND REPLACED WITH SUITABLE MATERIAL. PROVISIONS SHALL BE MADE FOR DUST CONTROL.
- ANY FILL MATERIAL USED SHALL BE FREE OF HAZARDOUS MATERIALS AND CONSTRUCTION DEBRIS. TRANSPORTATION OF FILL OR EARTH OR CONSTRUCTION DEBRIS TO OR FROM THE SITE SHALL BE RESTRICTED TO DAYTIME HOURS (7 AM TO 4 PM) MONDAY THROUGH FRIDAY. CONSTRUCTION VEHICLES ARE PROHIBITED FROM USING FOREST ROAD.
- EXTERIOR CONSTRUCTION ACTIVITY SHALL TAKE PLACE ONLY BETWEEN THE HOURS OF 7:00 A.M. AND 5:00 P.M., MONDAY THROUGH FRIDAY, AND 8:00 A.M. TO 12:00 P.M. SATURDAYS, UNLESS SPECIFIC APPROVAL IS GRANTED BY THE BOARD.
- ALL TREES WITHIN THE RIGHT-OF-WAY SHALL BE REMOVED AND STREET TREES SHALL BE PROVIDED. THE PROPOSED LIMITS OF CLEARING, HOUSE LOCATIONS, AND SEPTIC SYSTEM LOCATIONS ON THE PROPOSED LOTS ARE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY AND MAY BE SUBJECT TO CHANGE. THE HOUSE LOCATIONS MAY VARY FROM WHAT IS SHOWN ON THE PLAN WITHIN THE APPROVED SETBACKS.
- STREET AND STOP SIGNS ONLY SHALL BE ERRECTED AT INTERSECTION WITH JOANNE DRIVE AND FOREST ROAD. A SIGN "PRIVATE VYK" SHALL REMAIN UNTIL ACCEPTANCE BY THE TOWN OF STOW.
- NO DEBRIS, JUNK, RUBBISH, OR OTHER NON BIODEGRADABLE WASTE MATERIALS SHALL BE BURIED ON ANY LAND IN THE SUBDIVISION OR LEFT ON ANY LOT OR ON THE STREET RIGHT-OF-WAY, AND REMOVAL OF SAME SHALL BE REQUIRED PRIOR TO FINAL RELEASE OF ANY COVENANTS OF SECURITY. BURIAL OF BIODEGRADABLE MATERIALS ON THE SITE SHALL BE SUBJECT TO APPROVAL OF THE BOARD OF HEALTH. THE BURIAL LOCATIONS AND DESCRIPTION OF BURIED MATERIALS SHALL BE NOTED ON THE AS-BUILT PLAN.
- STREET AND RIGHT-OF-WAY
- ALL STREET MATERIALS AND CONSTRUCTION METHODS SHALL COMPLY WITH THE CURRENT EDITION OF "MASSACHUSETTS HIGHWAY DEPARTMENT, STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES" AND THE APPLICABLE STANDARD CROSS SECTIONS.
- CLEARING AND GRUBBING OF RIGHT-OF-WAY - ALL TREES NOT INTENDED FOR PRESERVATION, BRUSH, STUMPS, ROOTS, BOULDERS, AND LIKE MATERIALS SHALL BE REMOVED FROM THE FULL LENGTH AND WIDTH OF THE STREET RIGHT-OF-WAY.
- LOAM AND OTHER YIELDING MATERIAL - ALL LOAM OR OTHER YIELDING MATERIAL SHALL BE REMOVED FROM THE ENTIRE LENGTH AND WIDTH OF THE STREET RIGHT-OF-WAY AND REPLACED WITH SUITABLE MATERIAL. PROVISIONS SHALL BE MADE FOR DUST CONTROL.
- FINISH GRADE - ALL STREETS SHALL BE BROUGHT TO FINISH GRADE AS SHOWN ON THE PROFILES OF THE DEFINITIVE PLAN WITH AT LEAST THE TOP TWELVE (12) INCHES CONSISTING OF TWO (2) FOUR INCH (4") LAYERS OF WELL-DRAINED GRAVEL MEETING MHD 1.03.0, UNDER A FOUR INCH (4") LAYER OF DENSE GRADED BASE MEETING MHD M.2.01.7 COMPACTED THICKNESS ONE FOOT WIDER ON EACH SIDE THAN THE REQUIRED PAVEMENT AND TO BE LOCATED WITHIN THE RIGHT-OF-WAY AS SHOWN ON THE PLAN.

PAVEMENT:

- A BINDER COURSE OF CLASS I, TYPE 1, BITUMINOUS CONCRETE PAVEMENT WITH A ROLLED DEPTH OF TWO INCHES (2") APPLIED IN ONE COURSE, SHALL BE INSTALLED OVER THE GRAVEL BASE.
- THE BINDER COURSE SHALL BE EXPOSED TO ONE WINTER SEASON PRIOR TO THE APPLICATION OF THE WEARING SURFACE WITH CATCH BASIN AND MANHOLE RIMS SET TO BINDER GRADE.
- PRIOR TO INSTALLATION OF THE WEARING SURFACE, THE BINDER SHALL BE SWEEPED CLEAN, DRIED IF NECESSARY, AND TREATED WITH AN ASPHALT EMULSION OR TACK COAT TO ENSURE A SATISFACTORY BOND BETWEEN PAVEMENT COURSES. RIMS SHALL ALSO BE RESET FROM BINDER GRADE TO FINISH GRADE.
- THE BINDER COURSE SHALL BE TREATED FOR THE FULL WIDTH OF THE ROADWAY WITH A WEARING SURFACE OF ONE AND ONE HALF (1-1/2") INCHES OF CLASS I, TYPE 1, BITUMINOUS CONCRETE PAVEMENT APPLIED IN ONE COURSE IN ORDER TO MINIMIZE DAMAGE TO THE WEARING SURFACE, THE WEARING COURSE SHALL NOT BE APPLIED UNTIL ALL CONSTRUCTION ON LOTS SERVED BY THE SUBDIVISION STREETS IS IN THE OPINION OF THE BOARD COMPLETED.
- FOLLOWING THE INSTALLATION OF THE WEARING SURFACE, NO EXCAVATIONS SHALL BE PERMITTED IN THE ROAD SURFACE FOR A PERIOD OF FIVE (5) YEARS EXCEPT IN EMERGENCY CASES. ANY SUCH EXCAVATION SHALL BE REPAIRED WITH INFRARED PATCHING EQUIPMENT OR OTHER METHOD APPROVED BY THE BOARD.
- NO PAVING SHALL TAKE PLACE FROM NOVEMBER 15TH TO MARCH 15TH OF ANY YEAR WITHOUT PRIOR PLANNING BOARD APPROVAL.
- UTILITIES
- ALL UTILITIES INCLUDING SERVICES TO THE STREET LINE OR PROPERTY LINE SHALL BE INSTALLED, UPON COMPLETION OF THE SUBGRADE AND PRIOR TO THE PLACEMENT OF GRAVEL. ALL UTILITY LINES SHALL BE INSTALLED UNDERGROUND. DESIGN AND LOCATION OF UTILITIES MUST BE APPROVED BY EACH PERTINENT UTILITY COMPANY.
- THE FIRE CISTERN DESIGNATED TO SERVE THE PROPOSED ROAD SHALL BE FULLY OPERATIONAL AND TESTED PRIOR TO OCCUPANCY OF THE FIRST HOUSE ON THAT RESPECTIVE ROAD OR PHASE.
- MONUMENTS
- STREET MONUMENTS SHALL BE INSTALLED AT ALL STREET INTERSECTIONS, AT ALL POINTS OF CHANGE IN DIRECTION OR CURVATURE OF STREETS. SUCH MONUMENTS SHALL BE OF GRANITE, SIX (6) INCHES SQUARE BY FOUR FEET (4') LONG AND SHALL BE SET FLUSH WITH THE FINISHED GRADE. NO PERMANENT MONUMENTS SHALL BE INSTALLED UNTIL ALL CONSTRUCTION WHICH WOULD DISTURB OR DESTROY THE MONUMENTS IS COMPLETED. OPEN LAND MONUMENTS SHALL BE SET WITH A TWELVE INCH (12") REVEAL AT ALL LOCATIONS SHOWN ON THE PLAN.
- PLACEMENT AND LOCATION OF ALL MONUMENTS SHALL BE CERTIFIED BY A REGISTERED LAND SURVEYOR AFTER INSTALLATION OF THE STREET, AND SHALL BE SHOWN ON THE AS-BUILT PLAN.
- DRIVEWAYS
- WHEN A DRIVEWAY MEETS THE STREET, THERE SHALL BE A PAVED AREA OF AT LEAST TWELVE FEET (12') EXTENDING FROM THE EDGE OF THE PUBLIC WAY OF NOT LESS THAN TWO INCHES (2") OF BITUMINOUS OR CONCRETE TO PREVENT UNSTABLE DRIVEWAY MATERIAL FROM WASHING OUT ONTO THE STREET. A LIP OF NOT LESS THAN TWO INCHES (2") SHALL BE CONSTRUCTED AT THE EDGE OF THE DRIVEWAY TO FACILITATE DRAINAGE ALONG THE DRIVEWAY.
- CURBS
- A CONTINUOUS CAPE COD BERM SHALL BE PROVIDED AS AN INTEGRAL PART OF ALL NEW STREETS AS A MINIMUM. THE CURB SHALL REQUIRE ALTERNATE CURB MATERIALS DEPENDING ON LOCAL CONDITIONS AND THE PURPOSE OF THE CURB.
- SLOPED GRANITE CURBS, TYPE SA AS DEFINED IN SECTION M9.04.2 OF THE MASS. D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES SHALL BE REQUIRED AS FOLLOWS: AT THE POINT OF INTERSECTION WITH THE EXISTING ROAD AND AT INTERSECTIONS ALONG THE ROADWAY FOR THE DISTANCE OF THE ARCS OF THE CURVE PLUS A STRAIGHT SECTION AT EACH END OF AT LEAST EIGHT FEET (8') IN LENGTH, AND SURROUNDING STREET ISLANDS OR CHOKERS WITHIN STREETS INCLUDING LANDSCAPED ISLANDS IN CUL-DE-SAC STREETS. AT INTERSECTION WITH AN EXISTING ROADWAY, THE CURBING SHALL BE SET BACK 2' FROM THE EXISTING EDGE OF PAVEMENT TO PREVENT FLOOD DAMAGE.
- SEE DETAILS FOR "CAPE COD BERM" AND "SLOPED GRANITE CURB"

DRAINAGE SYSTEM NOTES:

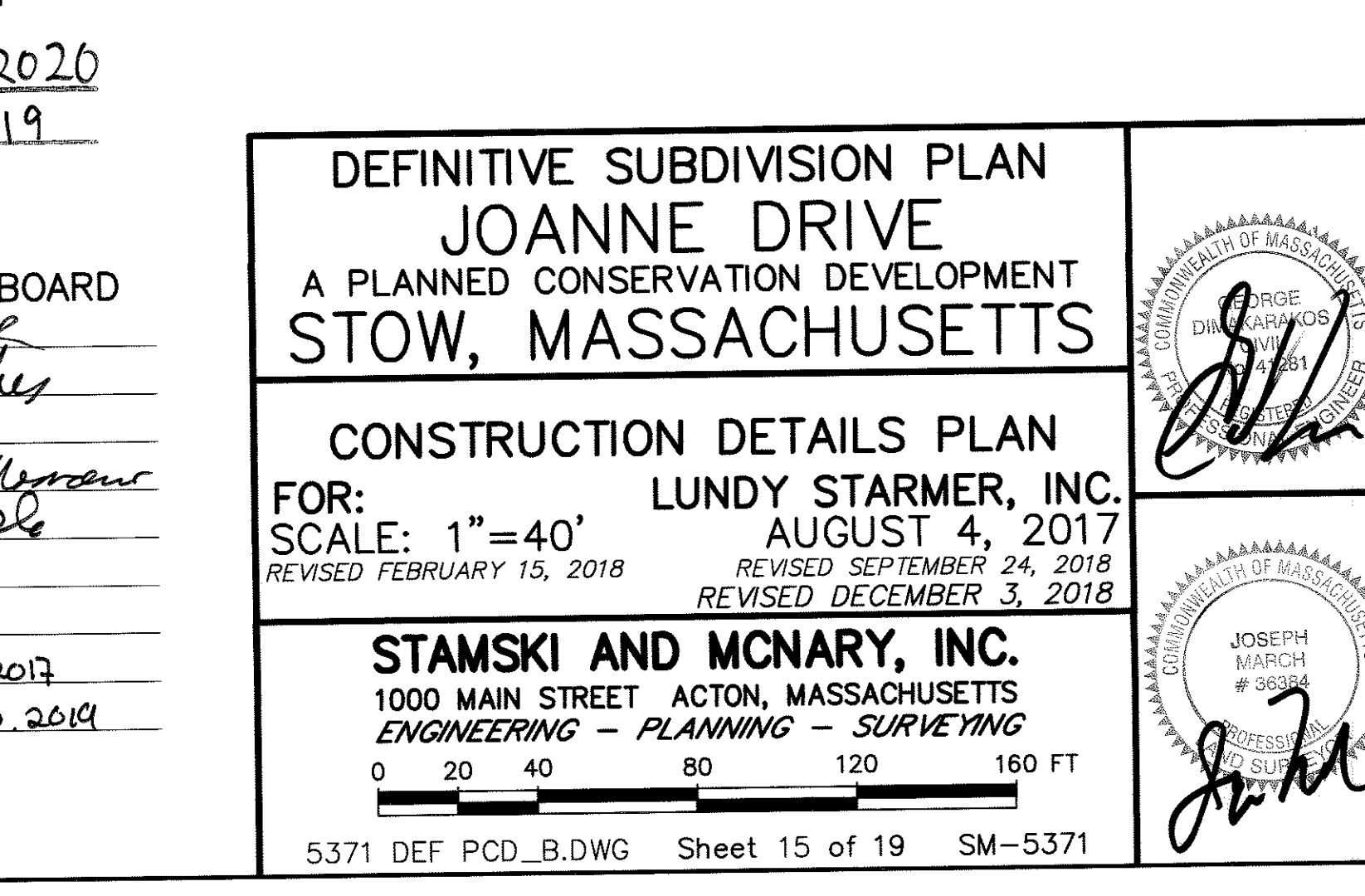
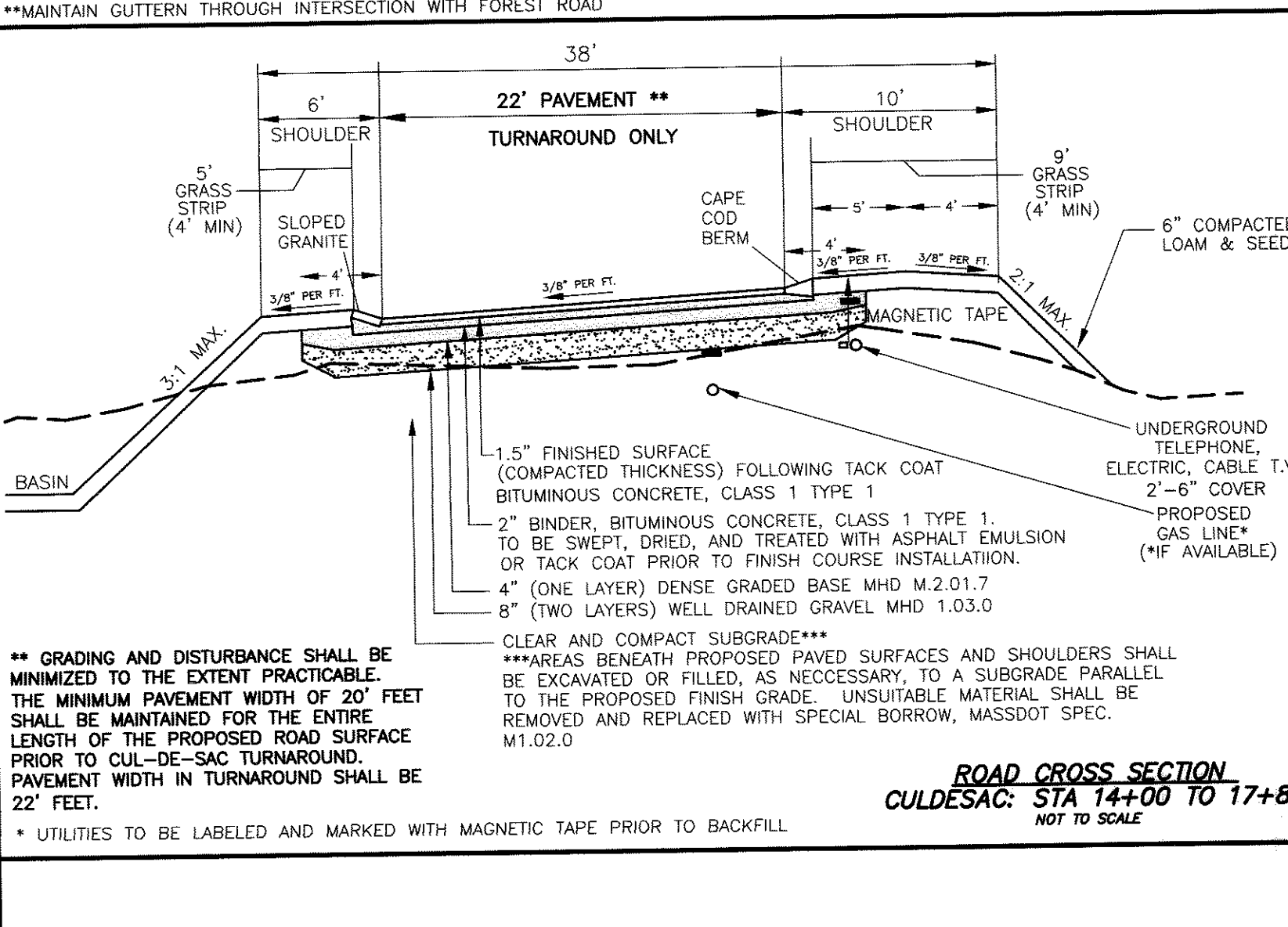
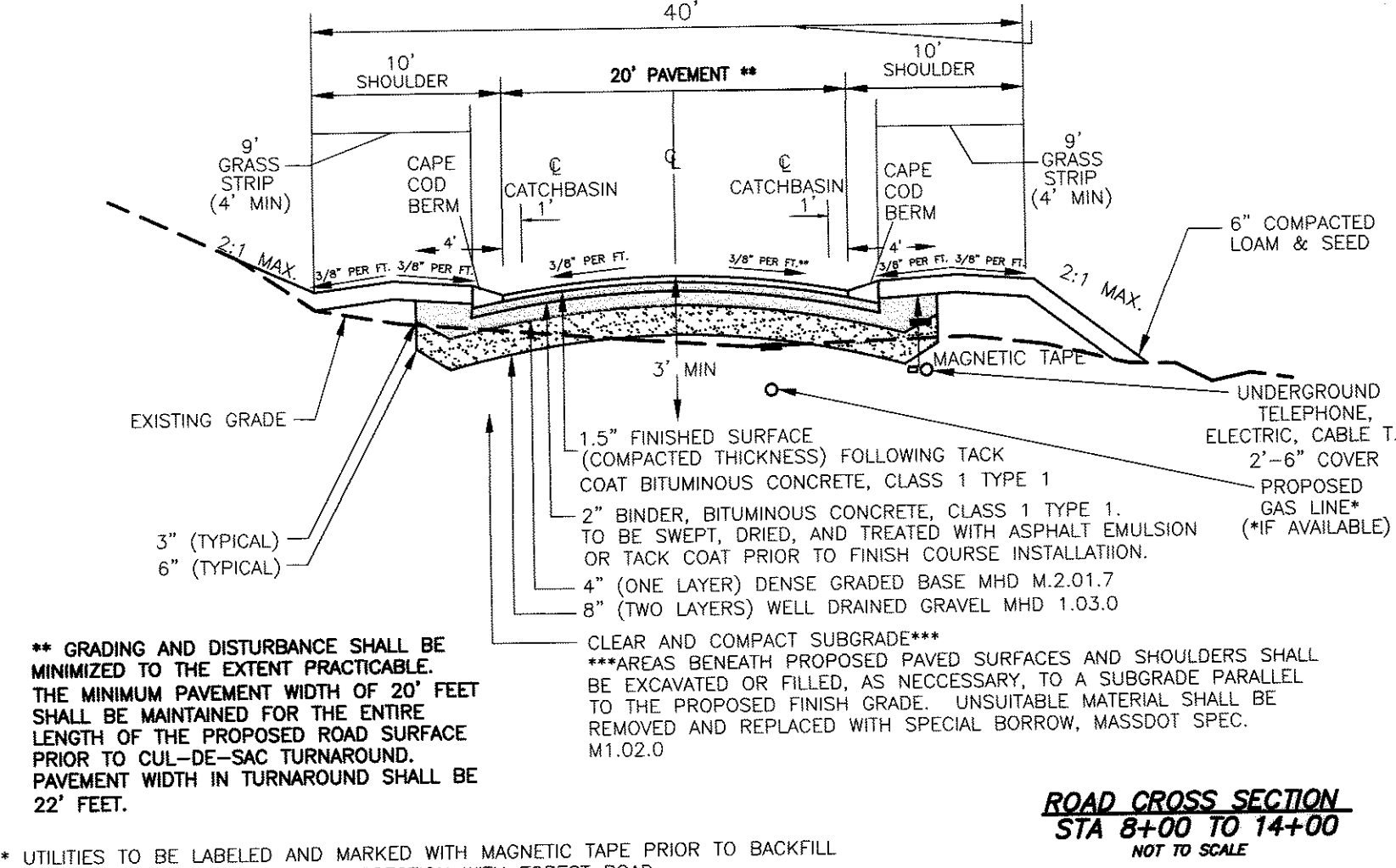
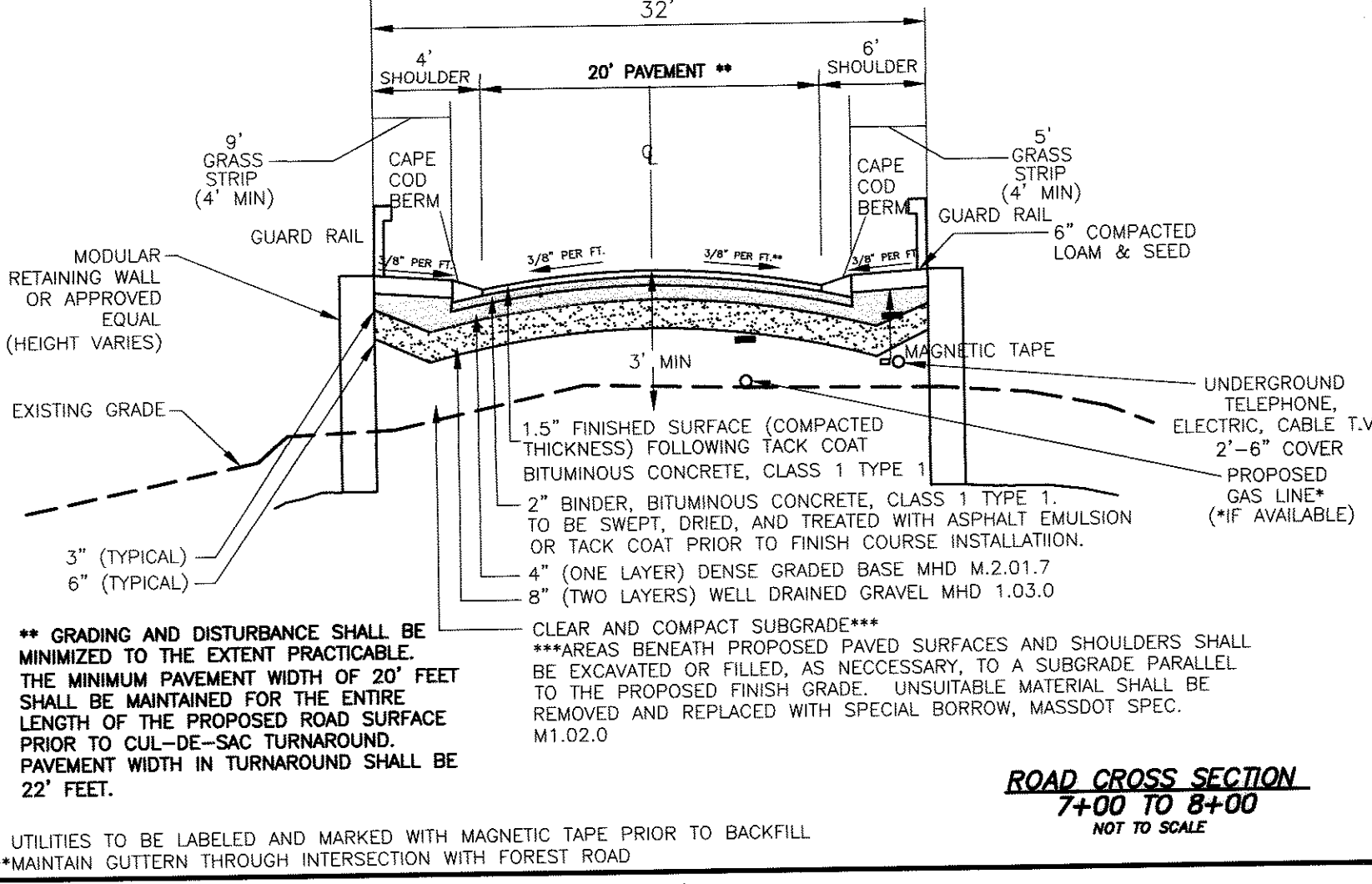
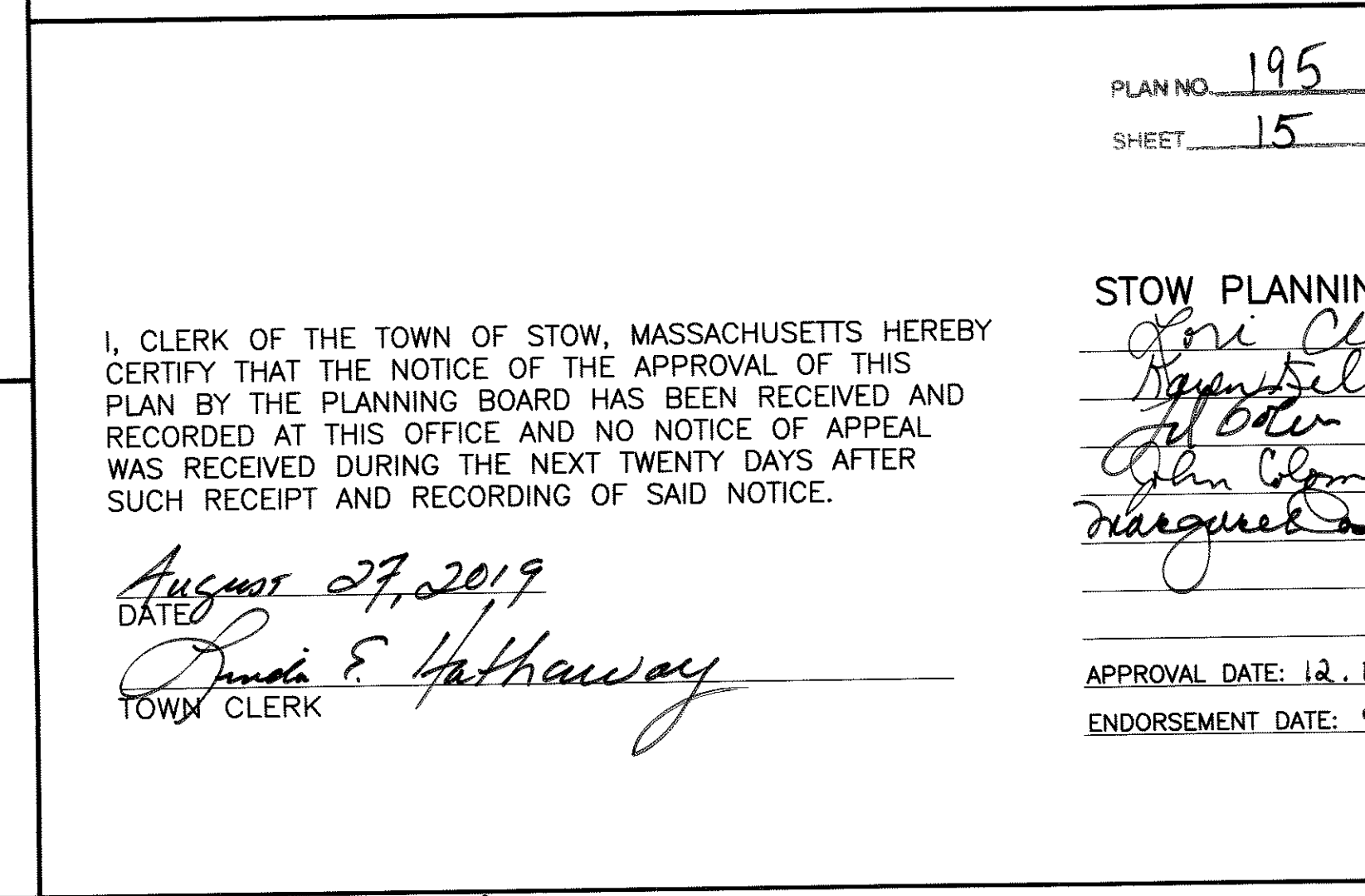
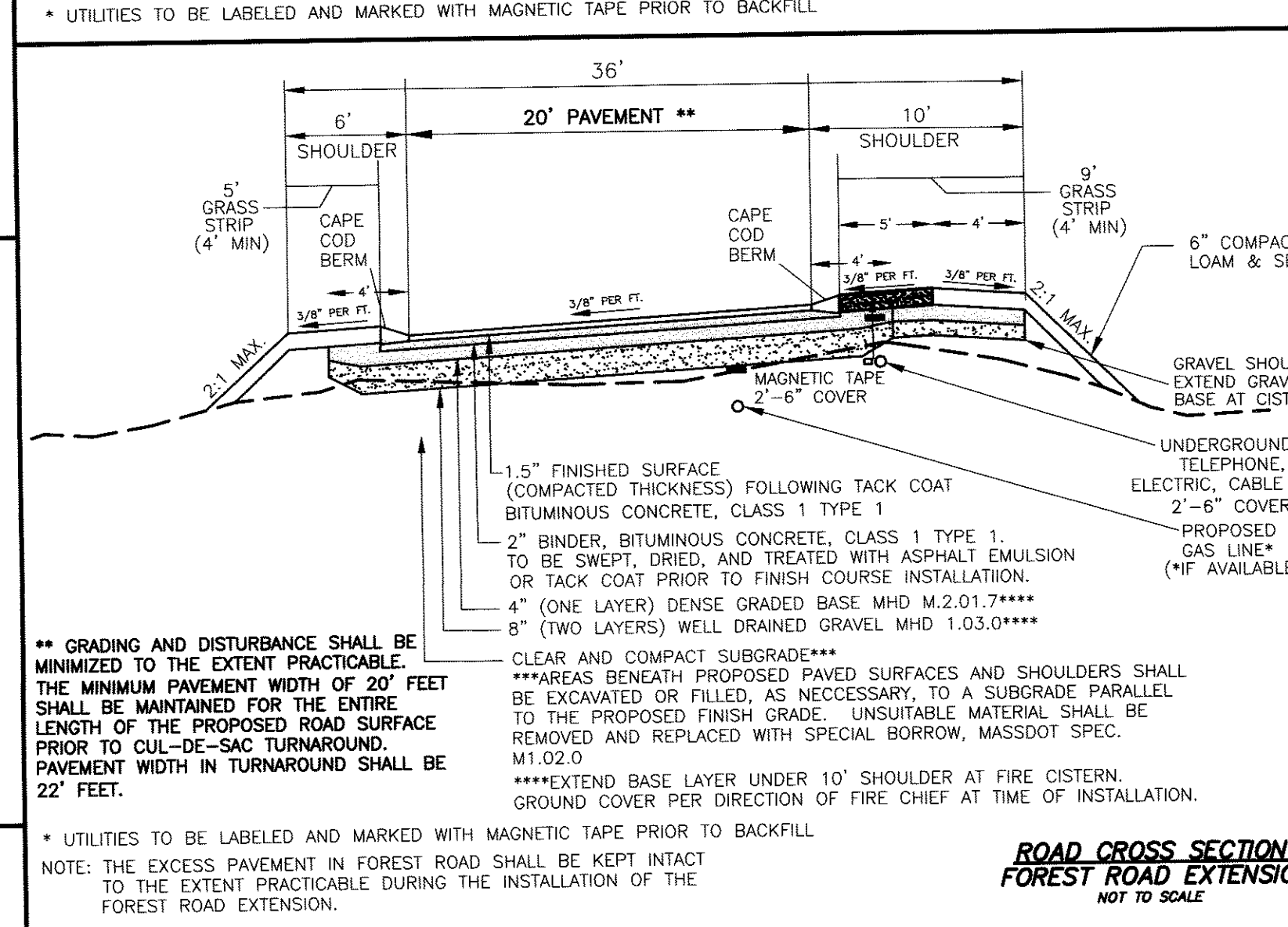
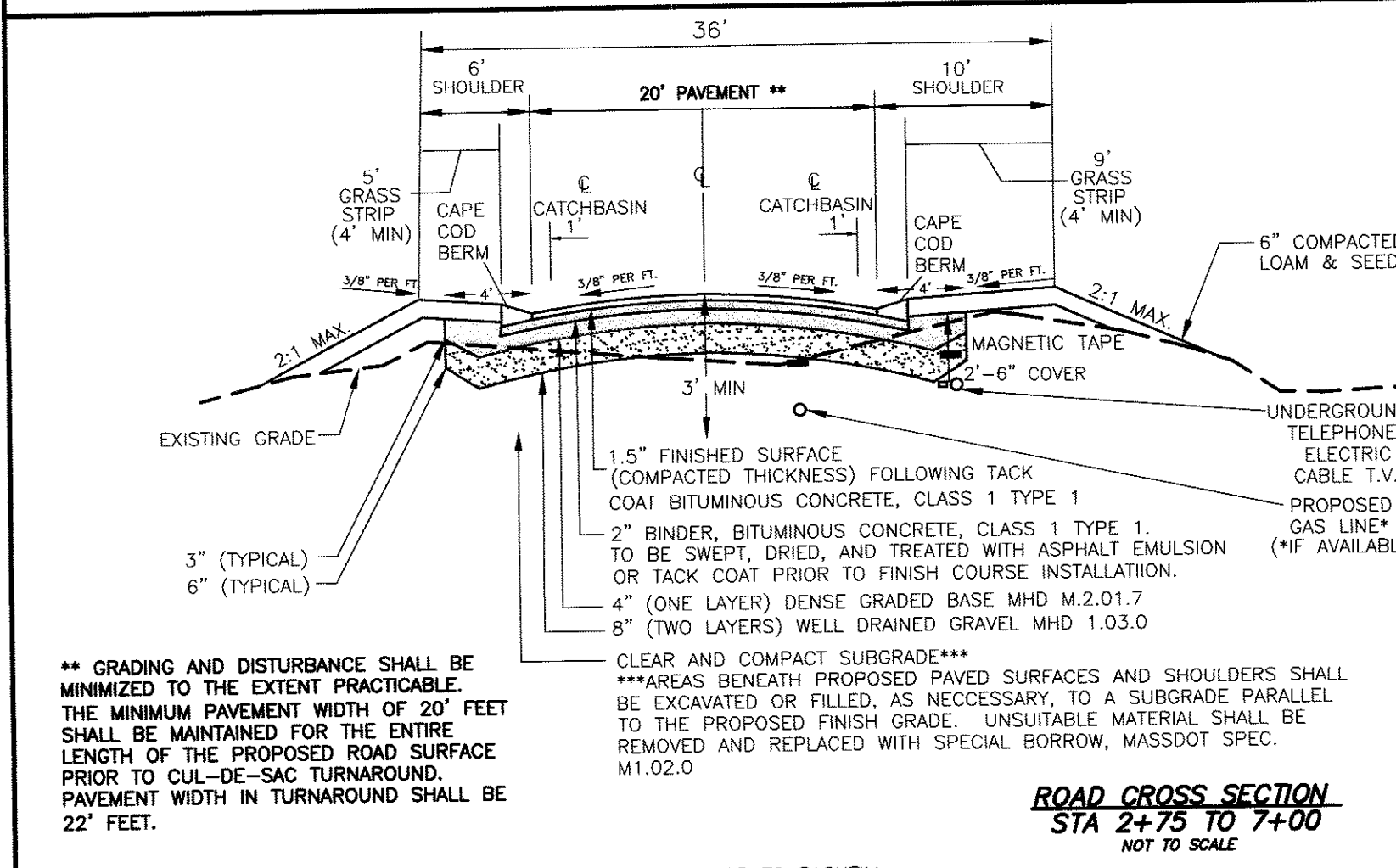
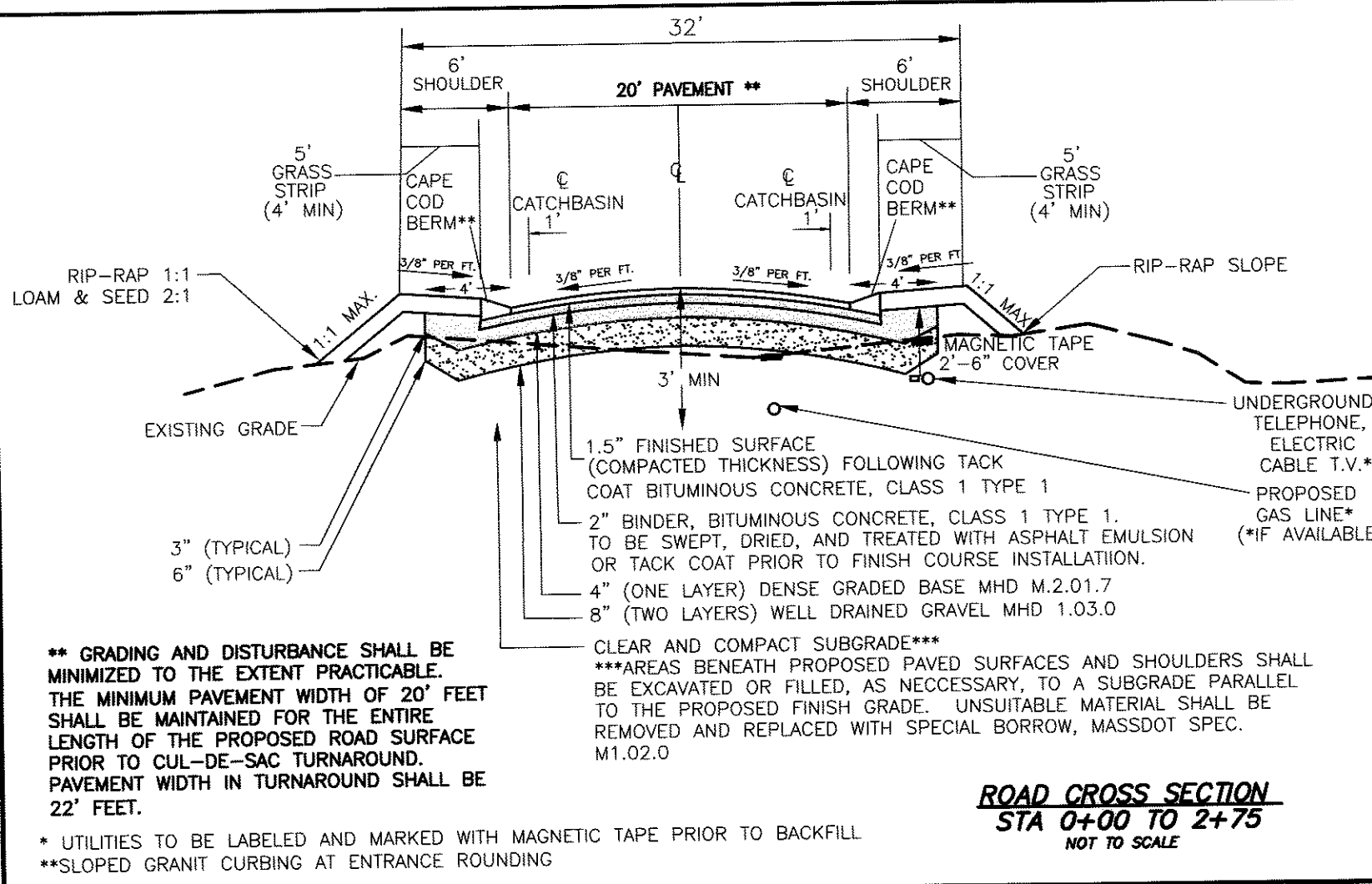
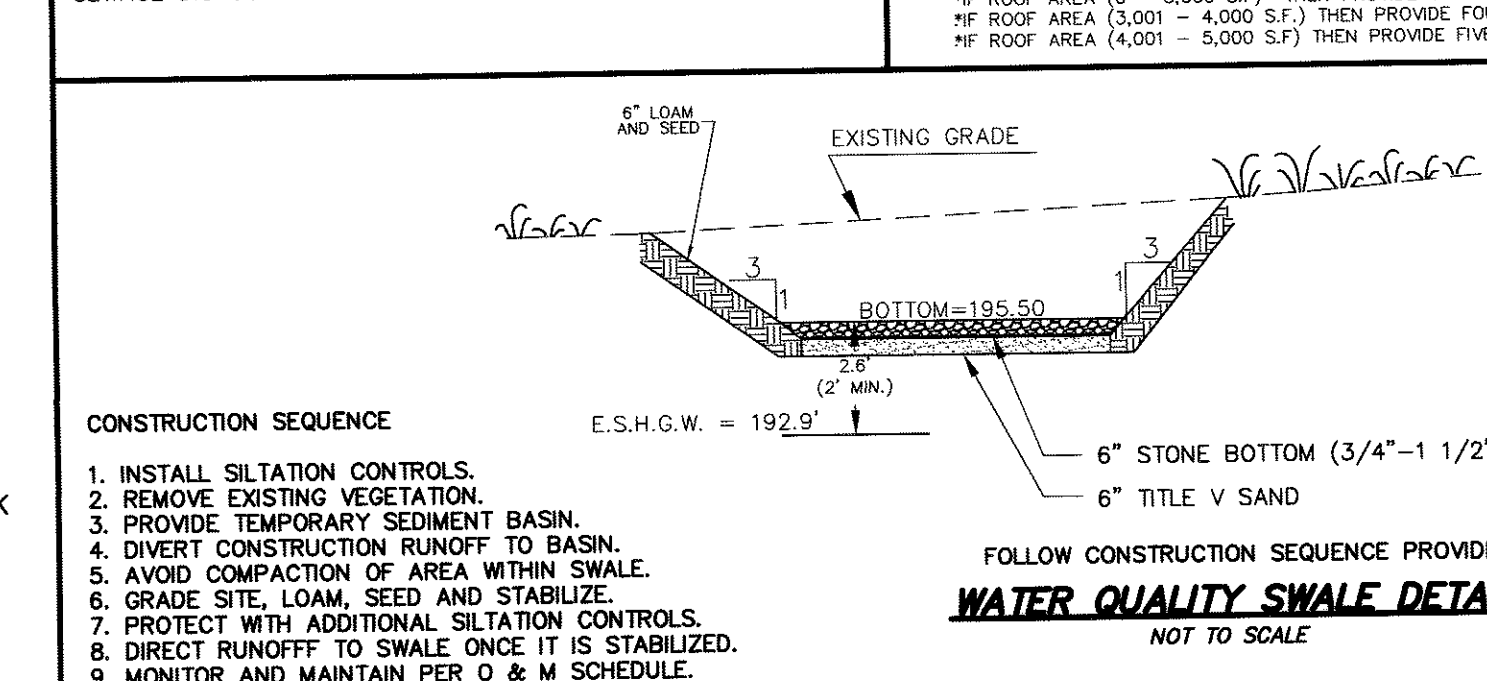
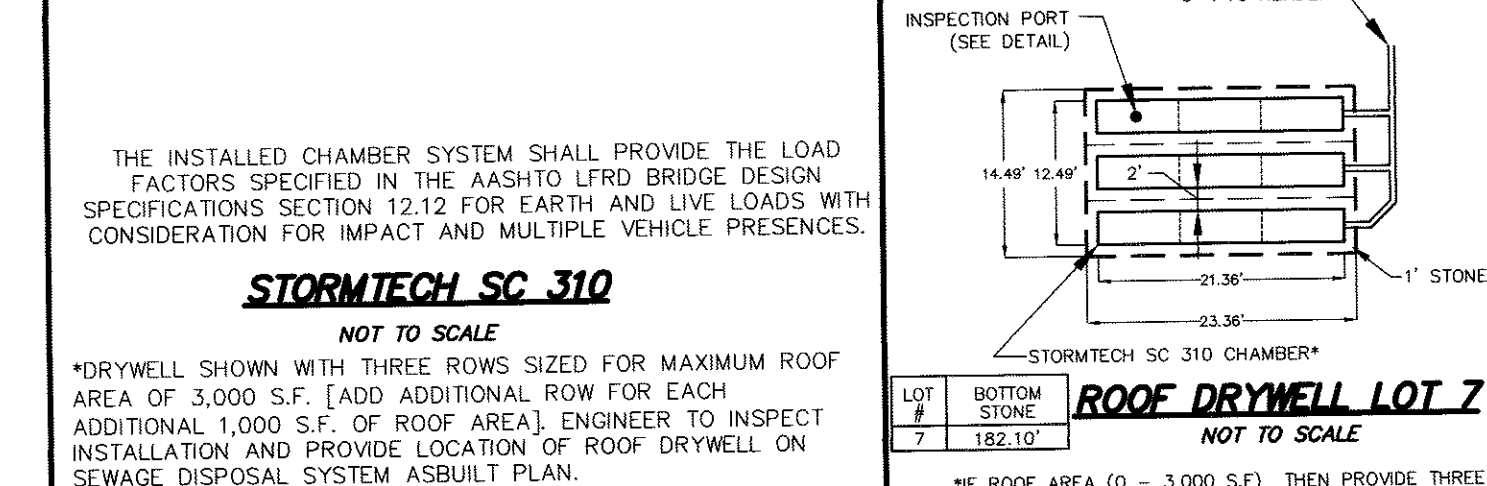
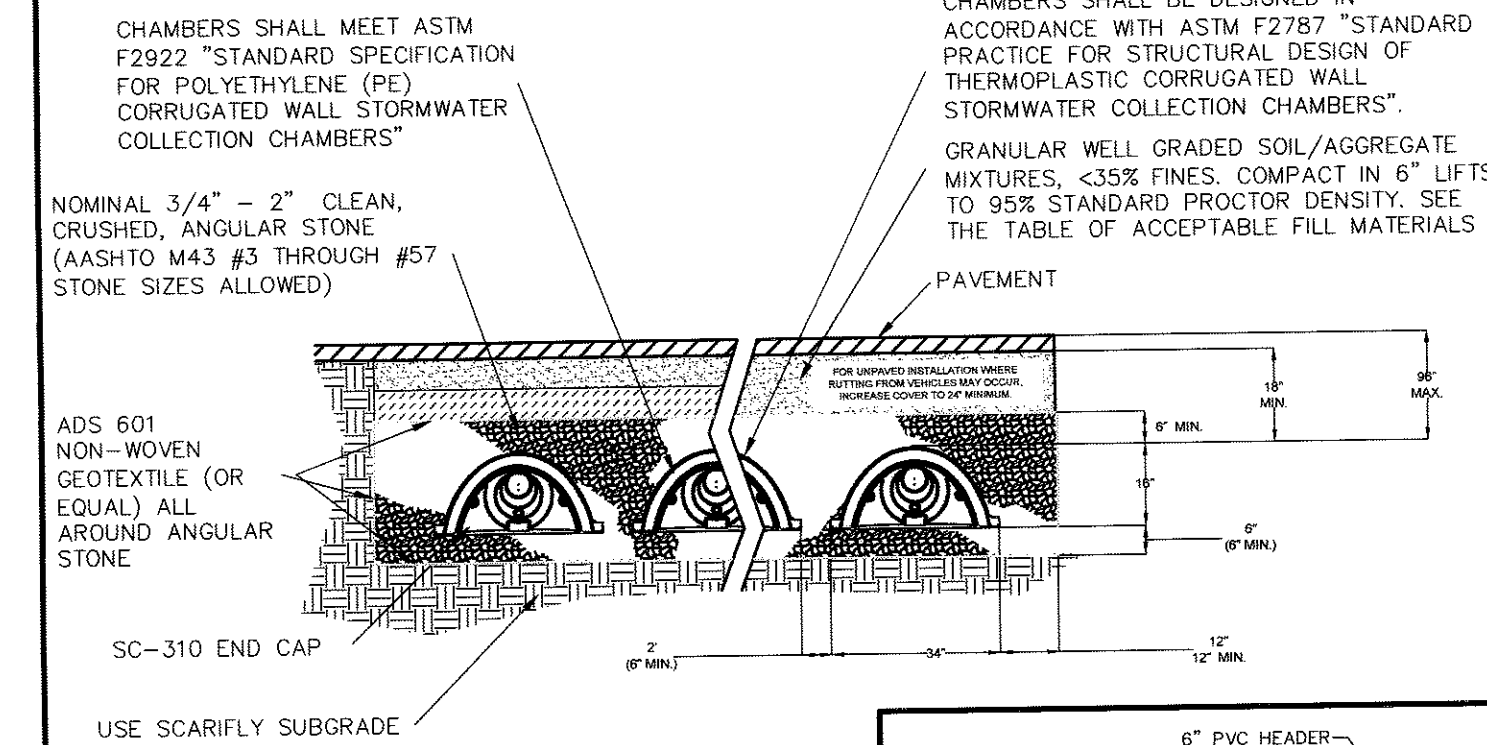
- RIP RAP SHALL CONSIST OF HARD DURABLE STONE, ANGULAR IN SHAPE, THAT IS WELL GRADED WITHIN THE 25# TO 125# RANGE. THE RIP RAP SHALL BE PLACED OVER A 12" BASE OF COARSE BANK RUN GRAVEL. FILTER FABRIC SHALL BE PLACED UNDER THE RIP RAP TO PREVENT THE UNDERLYING SOIL FROM WASHING OUT.
- ALL DRAIN PIPES SHALL BE CLASS III HDPE (PER DECISION SECTION 7.58) PIPE, AS DESCRIBED IN THE MASS. HIGHWAY DEPT. STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.
- DRAIN PIPES AND RELATED EQUIPMENT, SUCH AS MANHOLES AND CATCH BASINS, SHALL BE CONSTRUCTED IN CONFORMITY WITH SPECIFICATIONS OF THE "STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES", DEPARTMENT OF PUBLIC WORKS, COMMONWEALTH OF MASSACHUSETTS, 1988, AS AMENDED.

MAINTENANCE & INSPECTION NOTES:

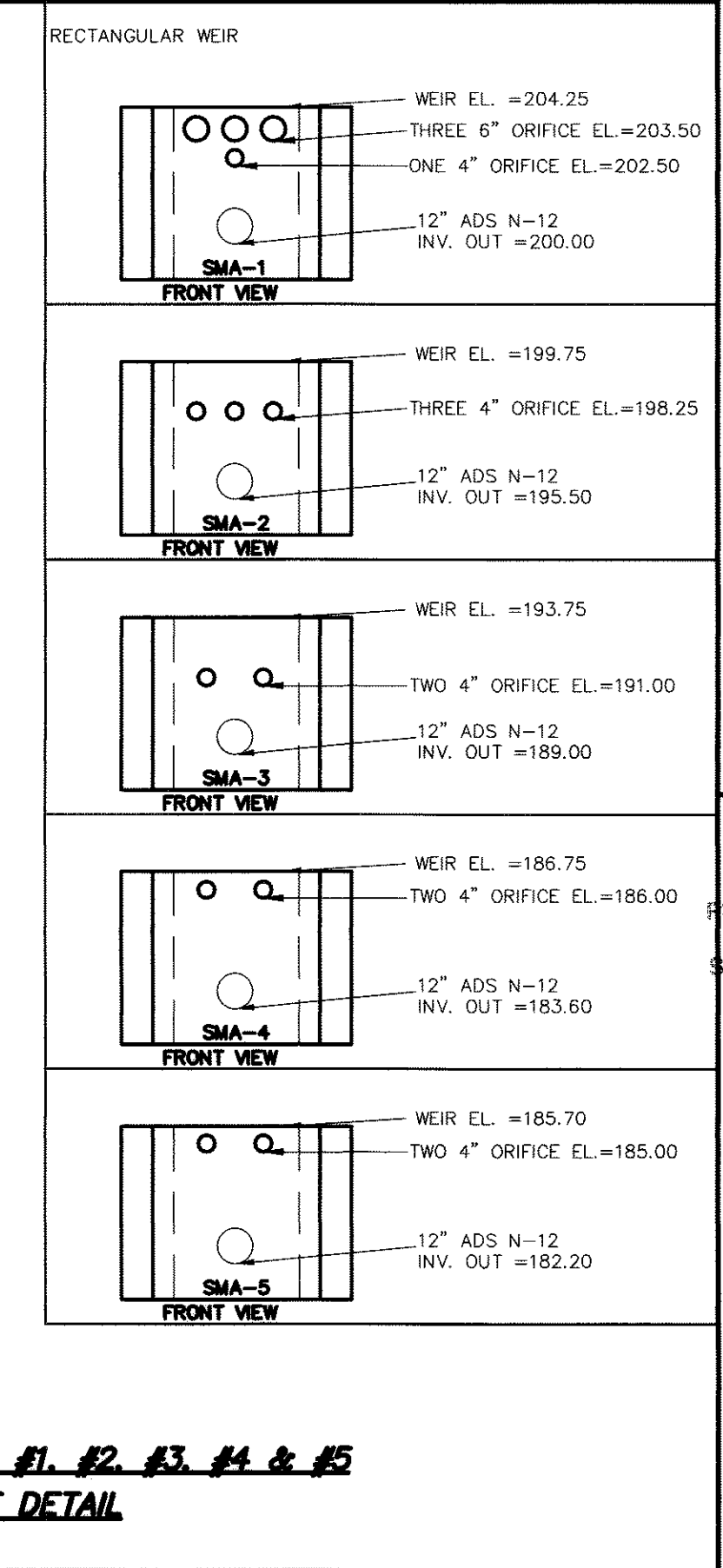
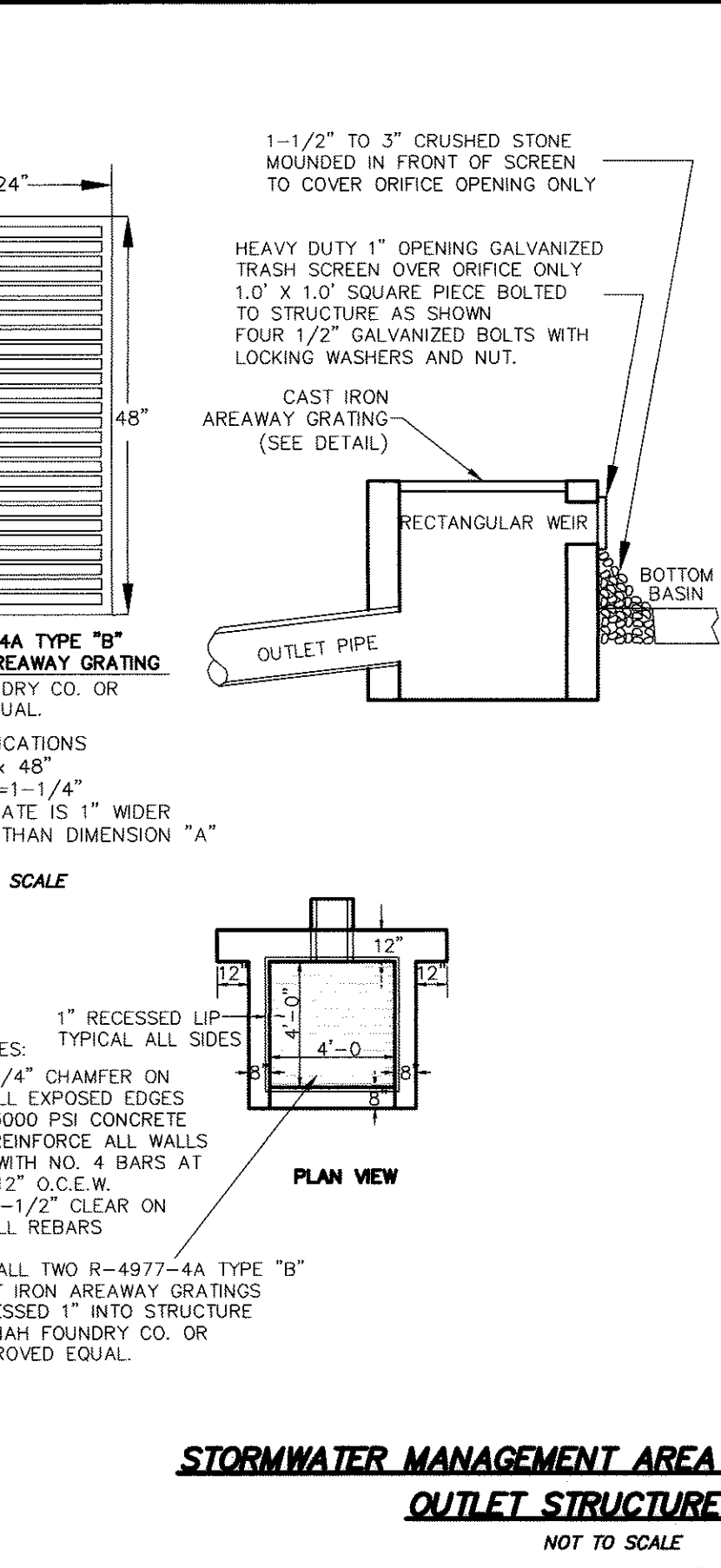
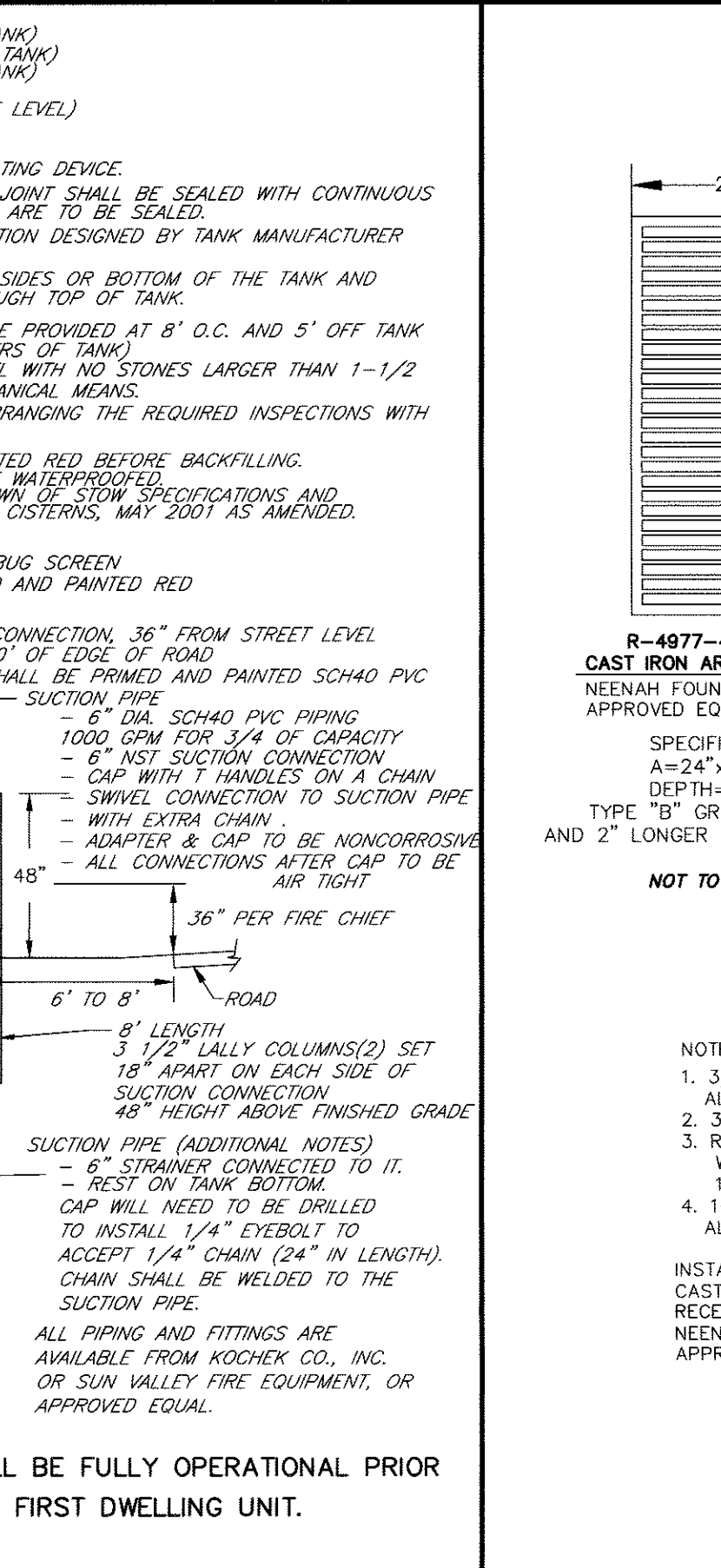
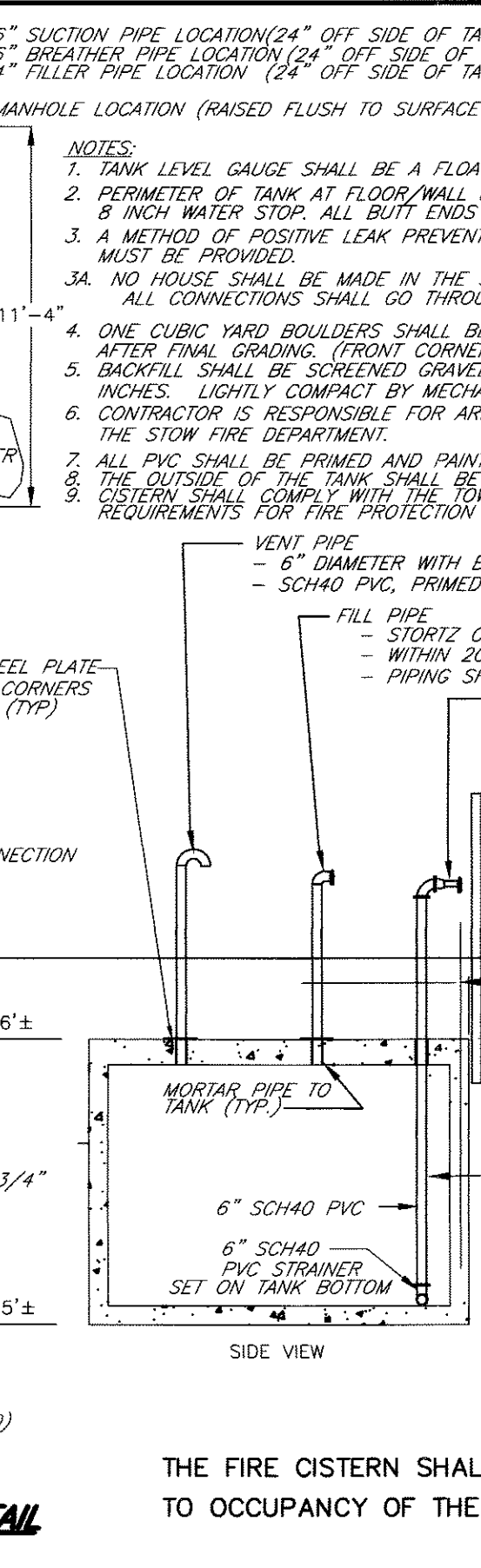
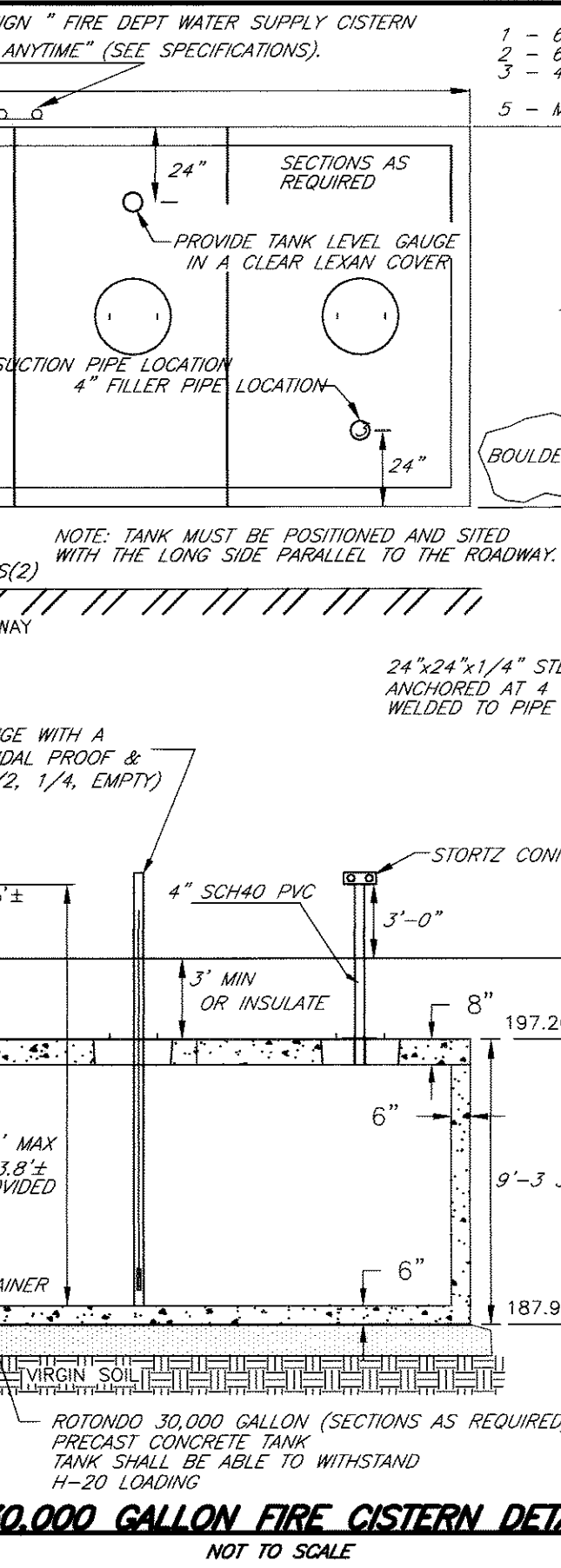
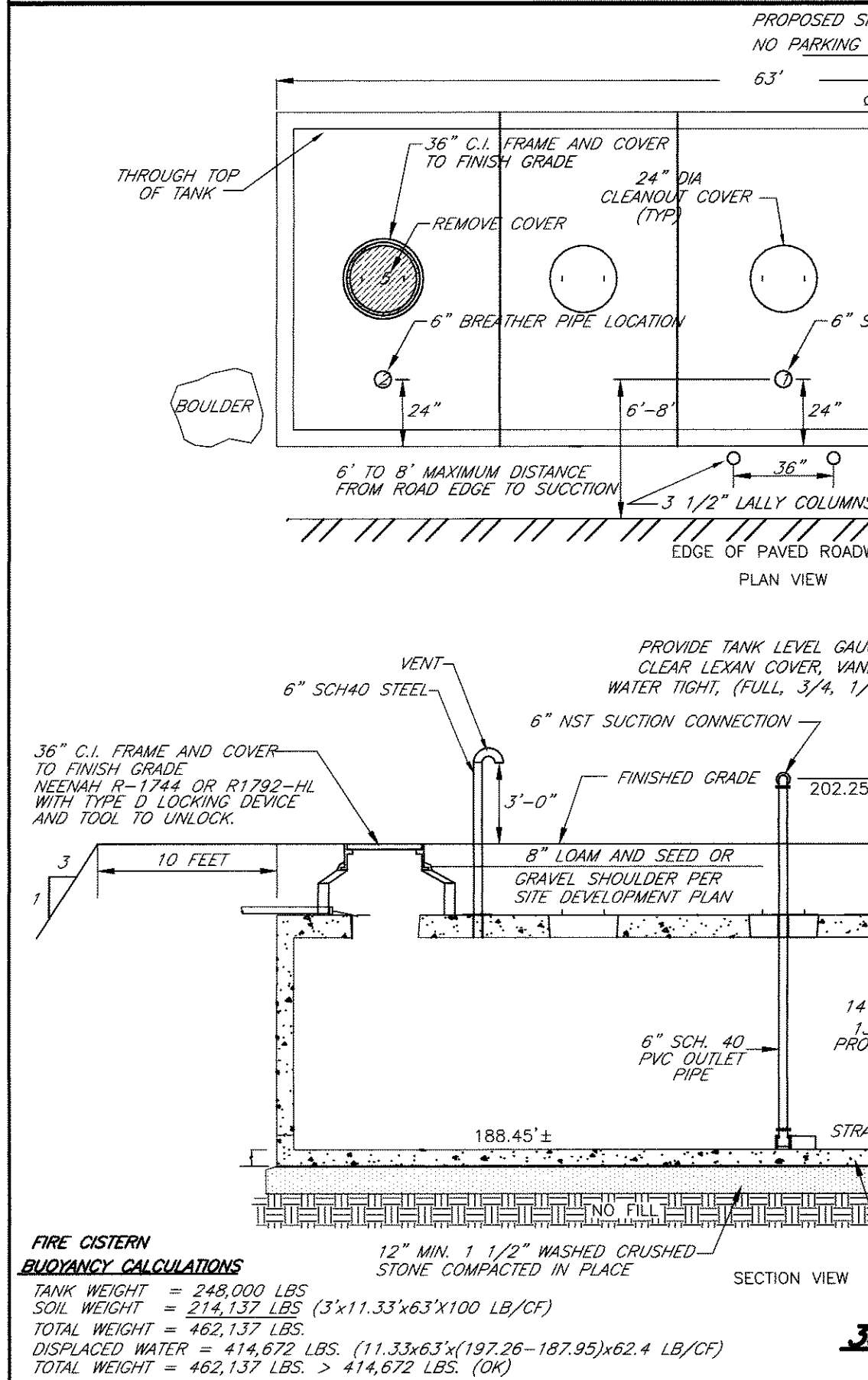
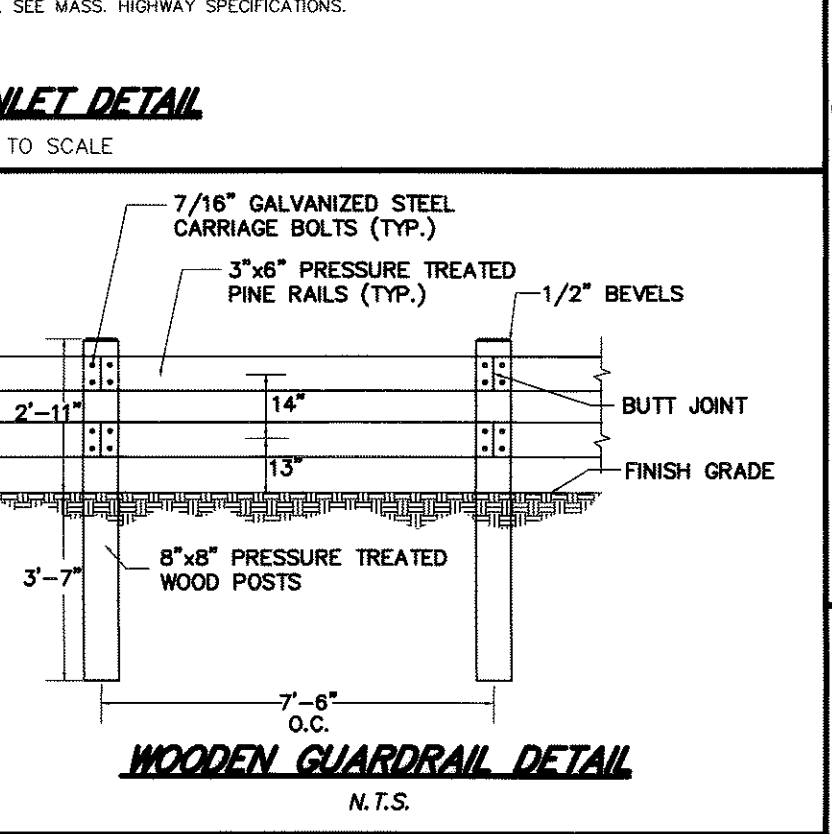
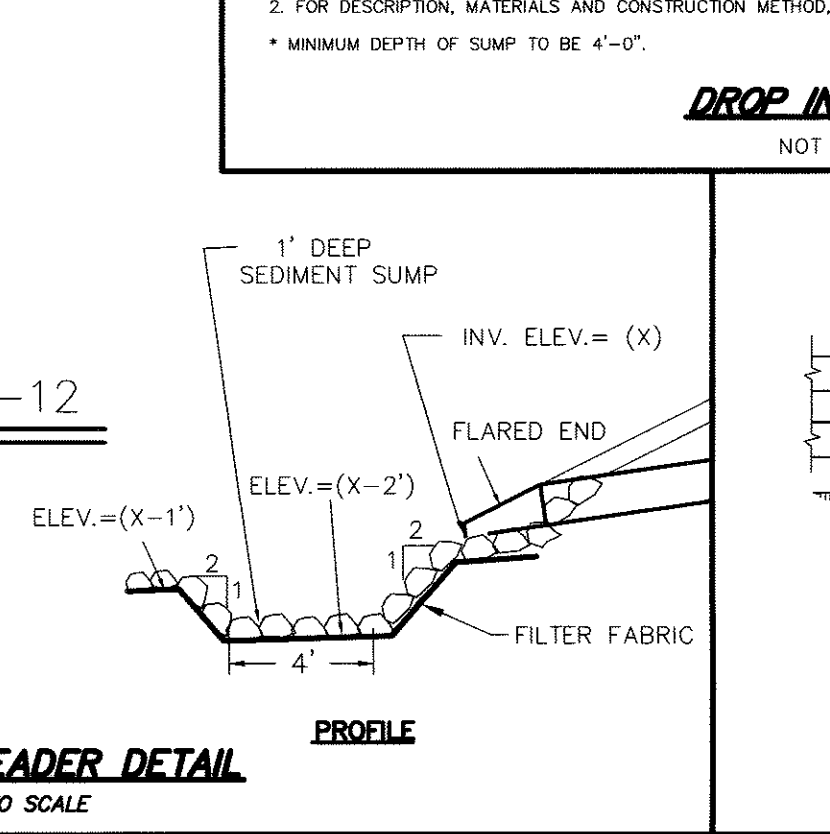
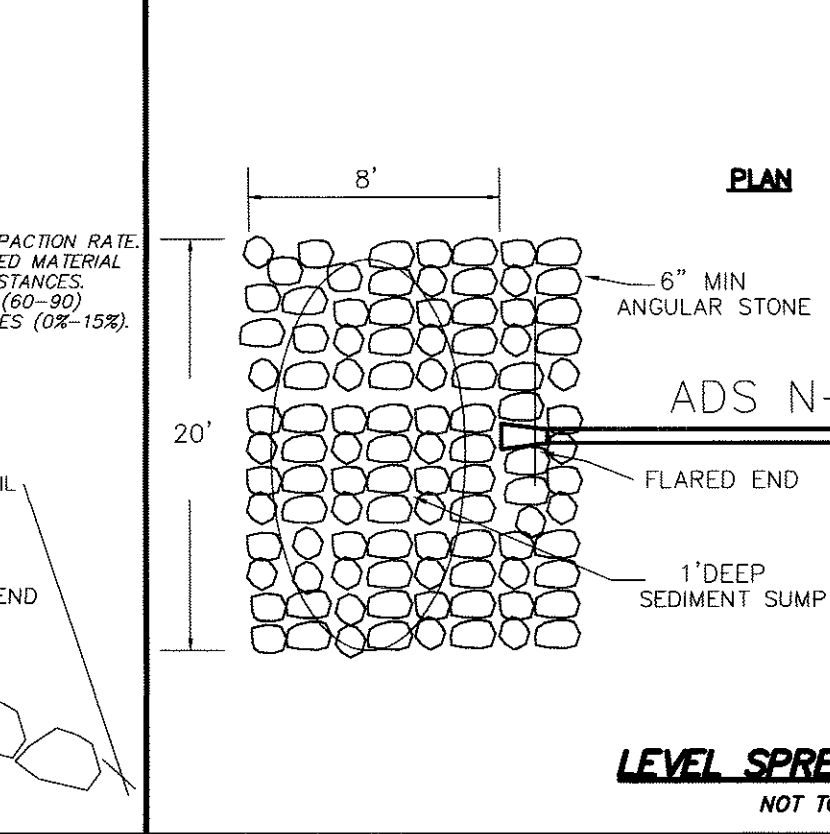
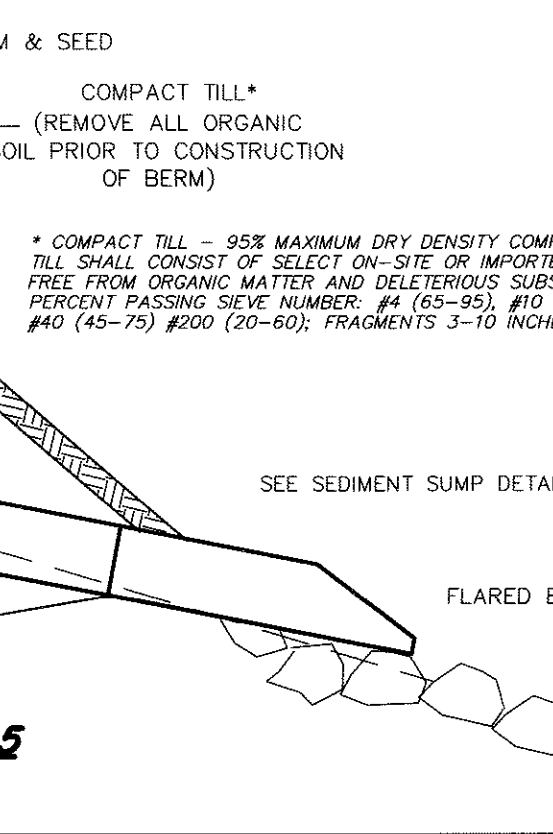
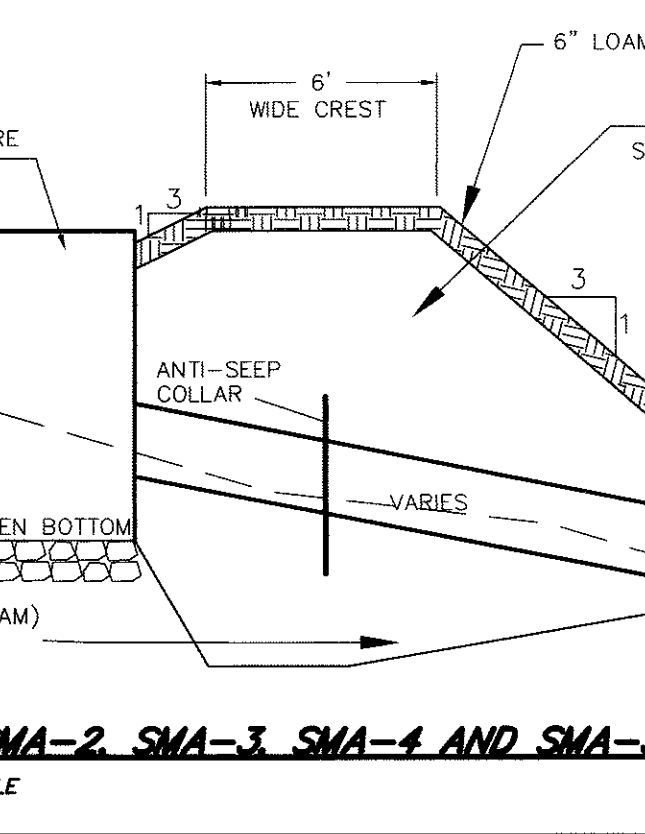
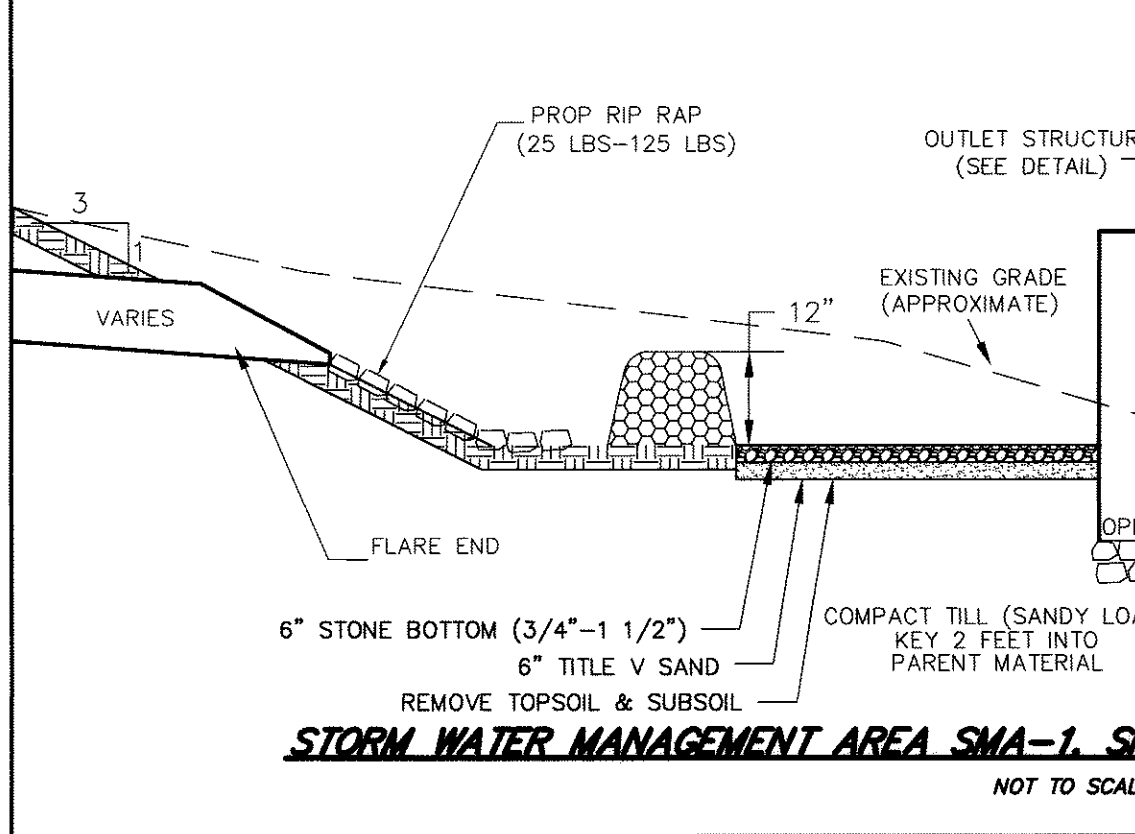
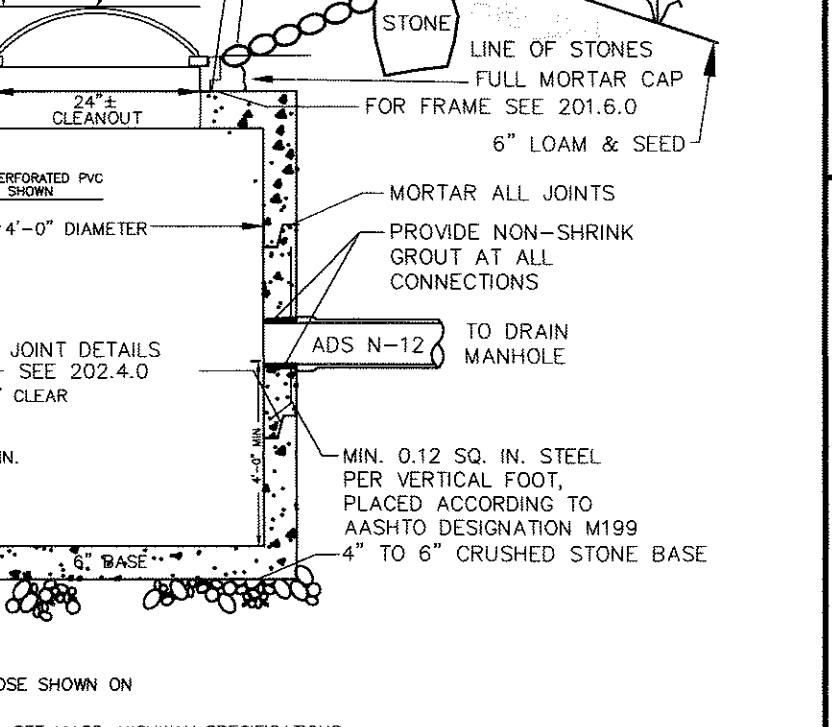
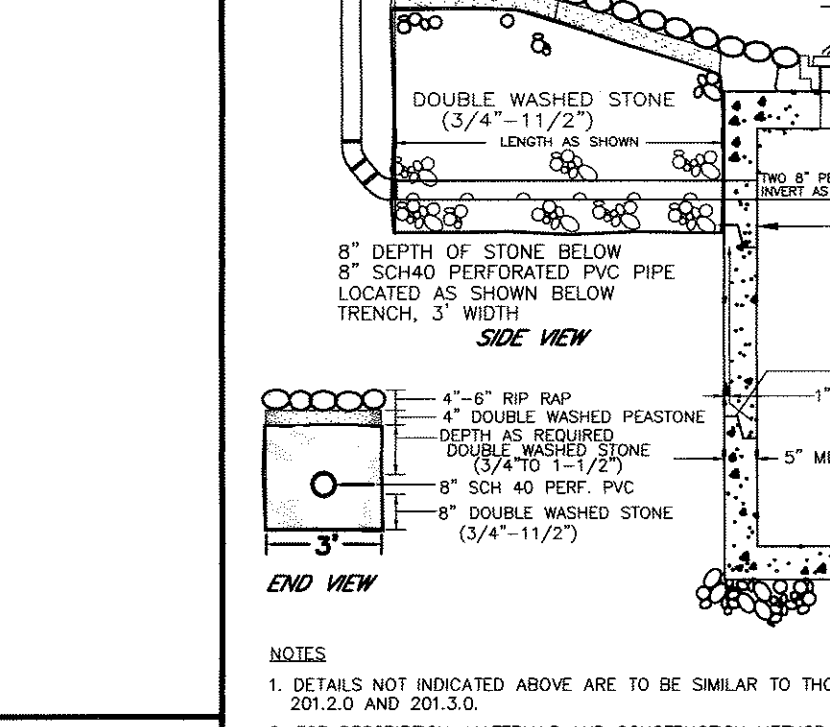
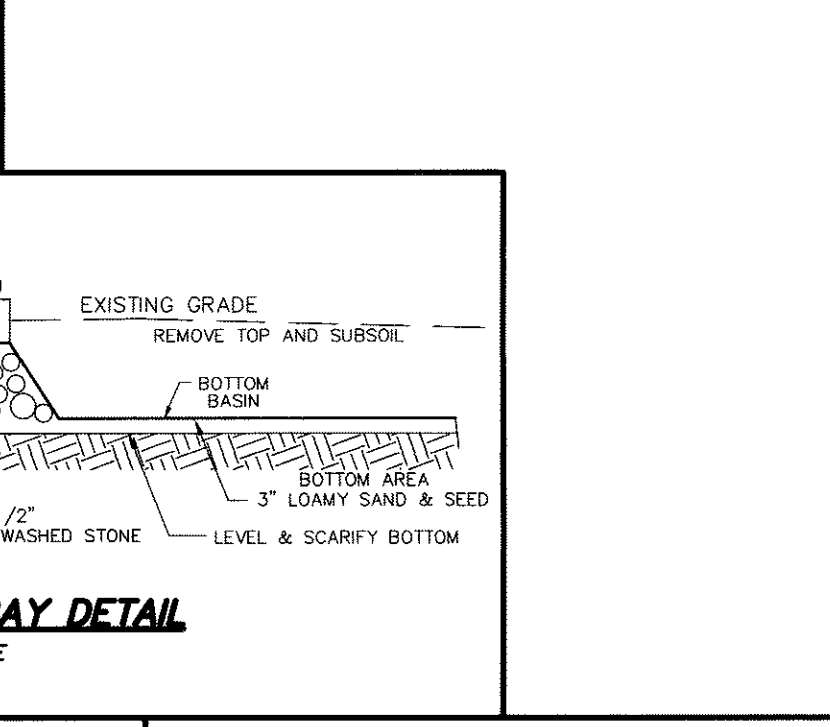
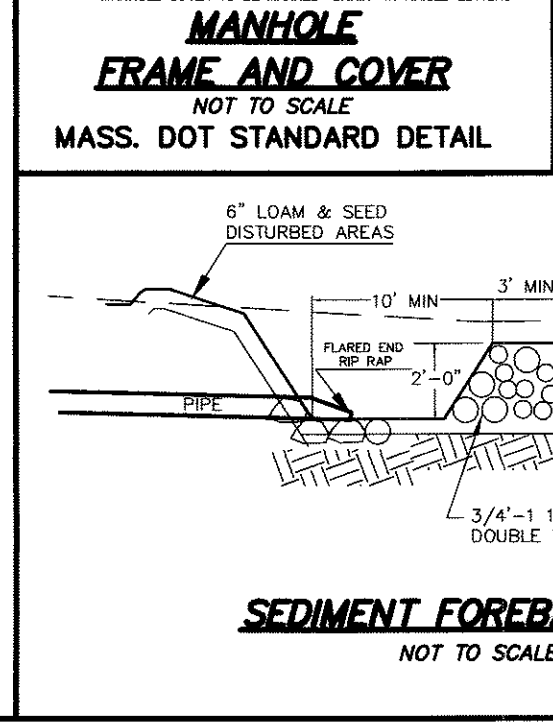
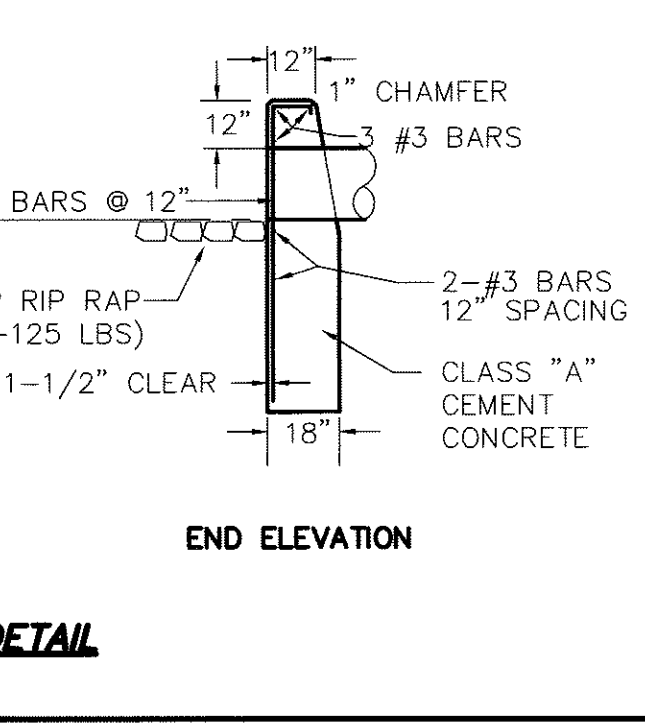
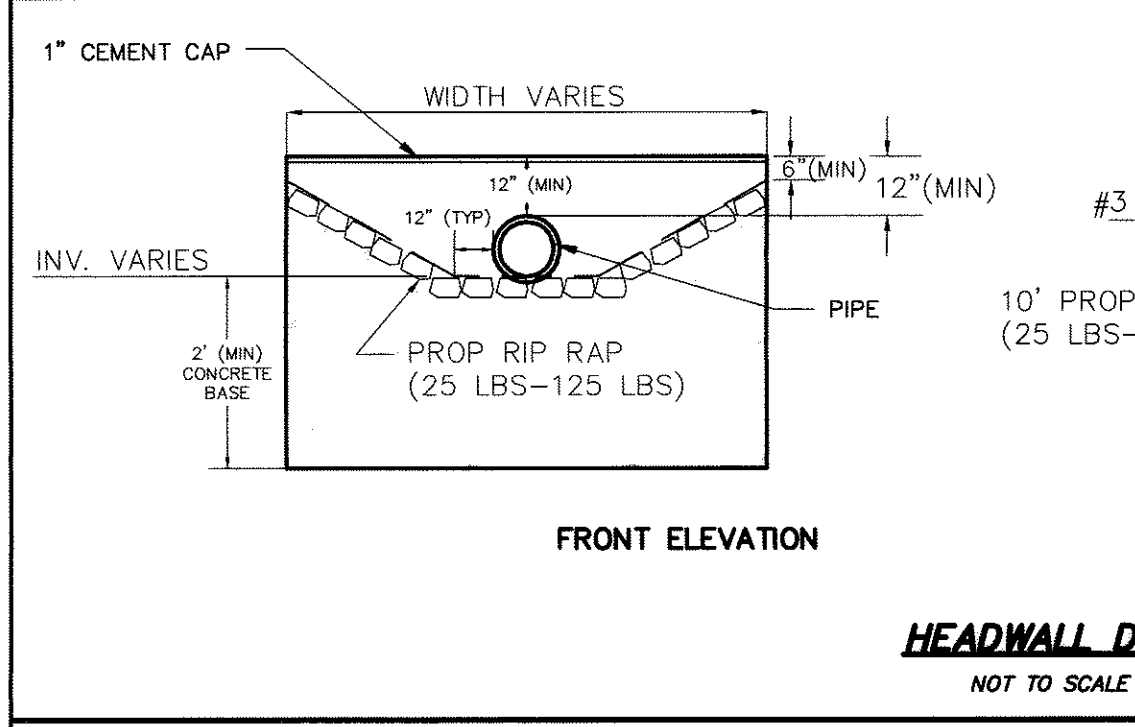
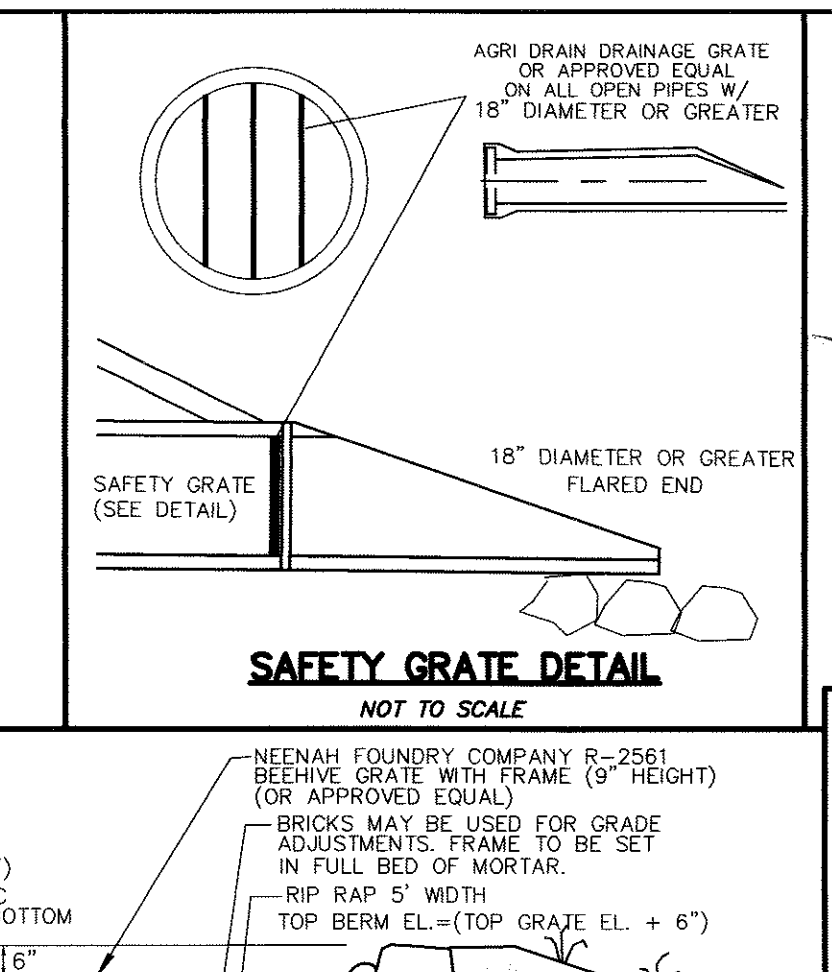
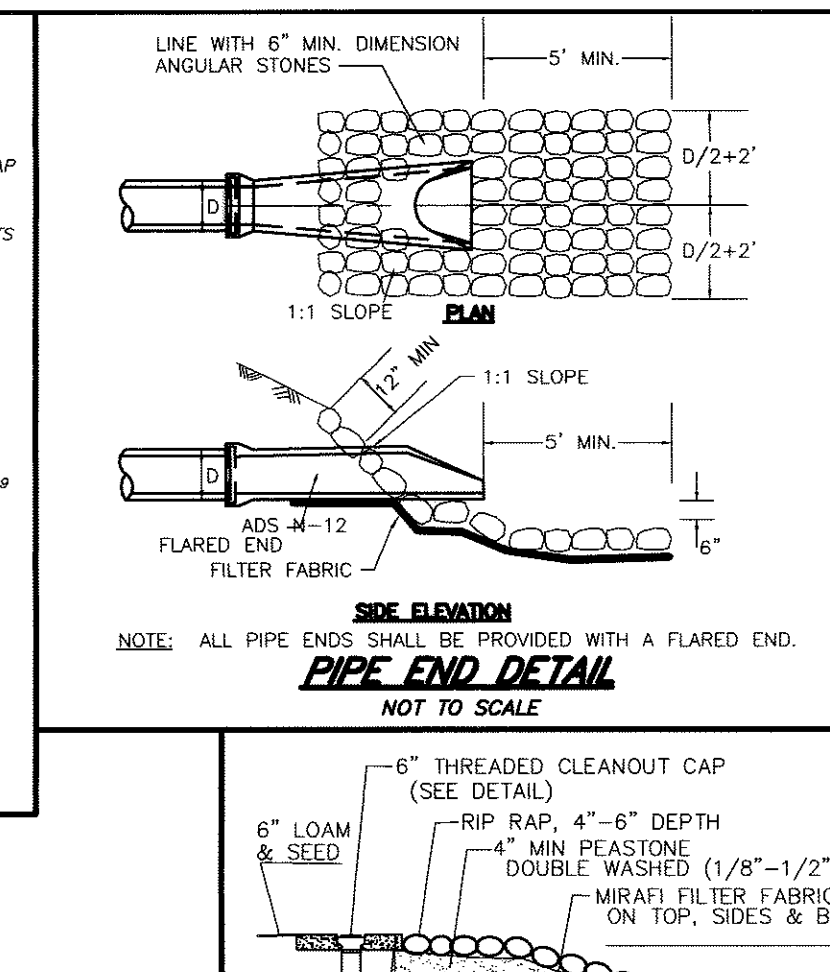
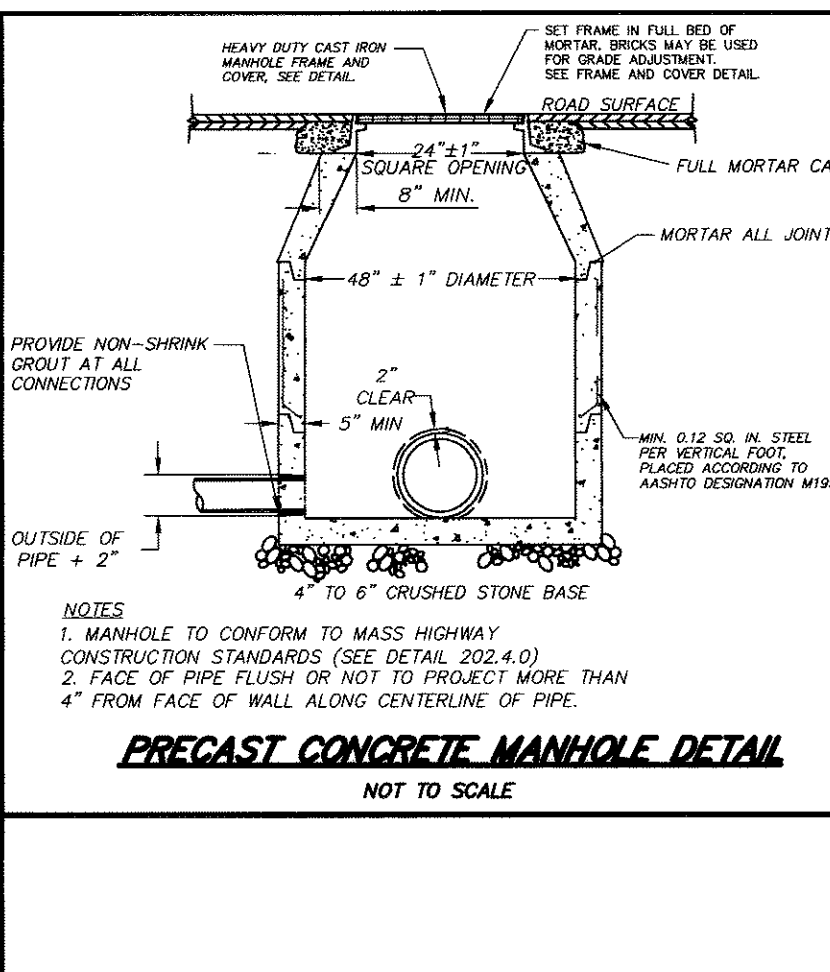
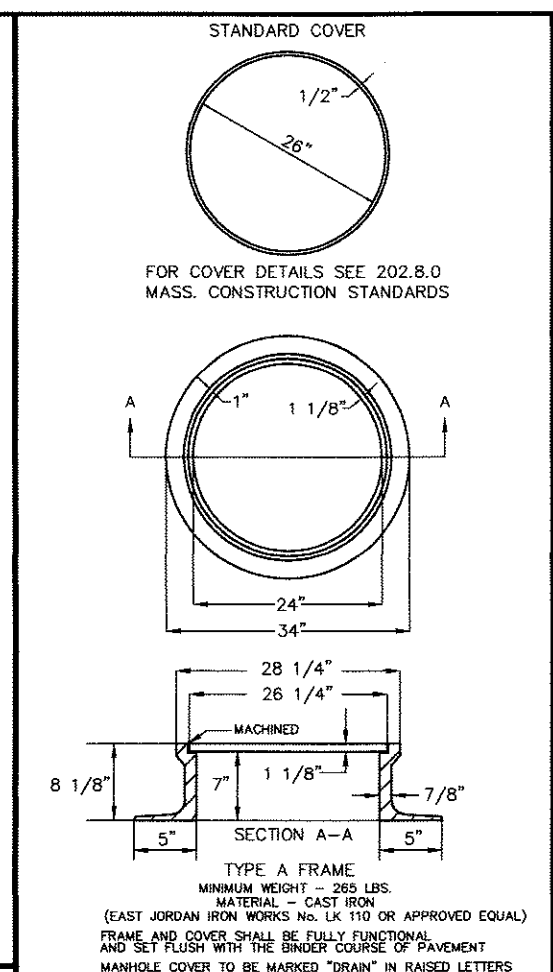
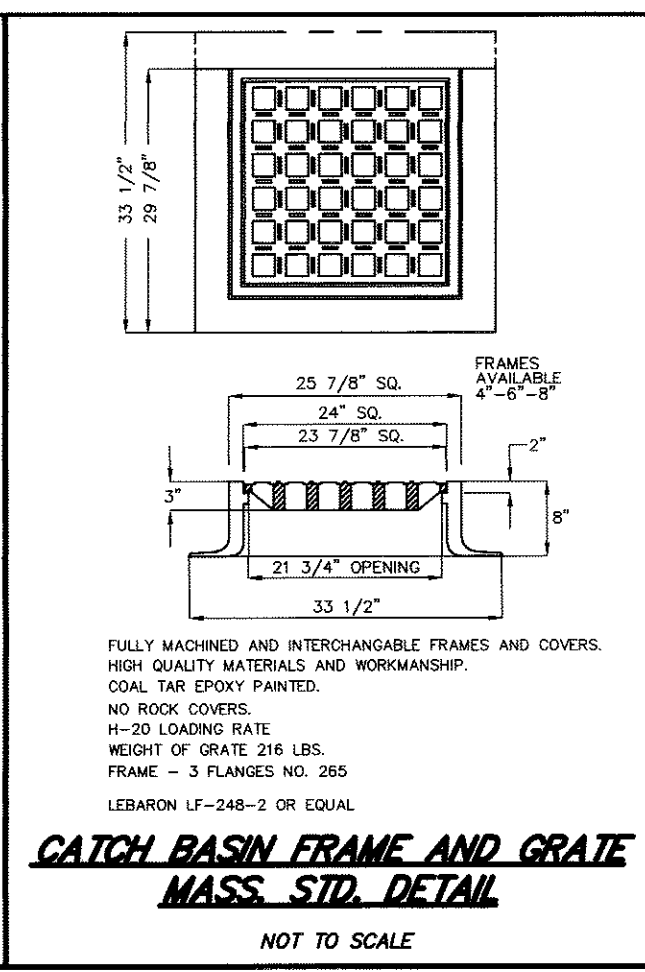
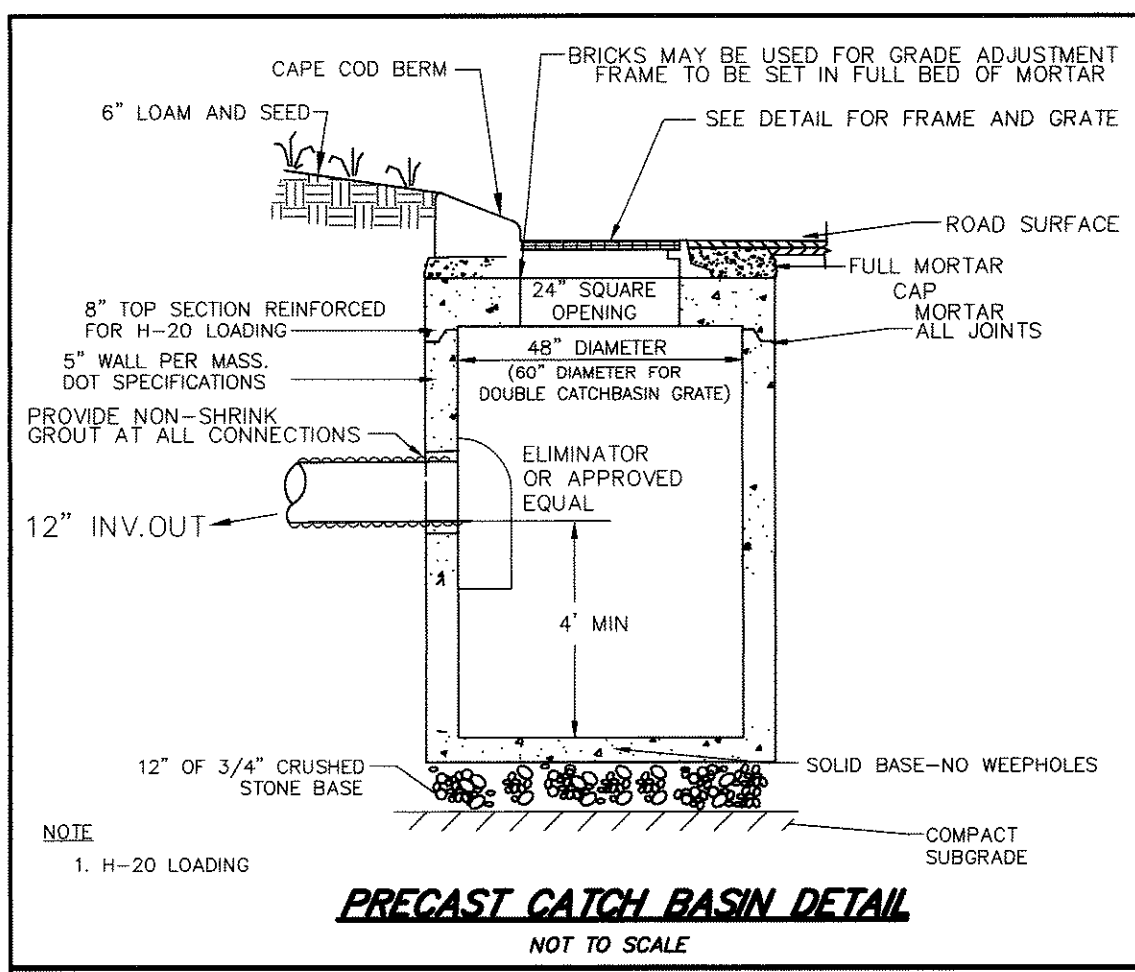
- CATCH BASIN SUMPS AND STORM WATER BASINS SHALL BE CLEANED FOLLOWING COMPLETION OF CONSTRUCTION AND IN ACCORDANCE WITH THE OPERATION AND MAINTENANCE PLAN THEREAFTER. REFER TO THE STORM WATER MANAGEMENT HANDBOOK PROVIDED BY THE MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL PROTECTION.
- THE DEVELOPER SHALL BE DILIGENT IN COMPLYING WITH THE EROSION AND SEDIMENTATION CONTROL PLAN.
- PRIOR TO THE ACCEPTANCE OF ANY PROPOSED ROADWAYS AS PUBLIC WAYS BY THE TOWN OF STOW, THE RESPONSIBILITY FOR PLOWING AND MAINTENANCE OF ALL STREETS IN THE PROPOSED SUBDIVISION SHALL BE THAT OF THE DEVELOPER, OR THE NEW HOMEOWNERS AND NOT THE TOWN OF STOW.
- THE APPLICANT SHALL SUBMIT AN "AS-BUILT" PLAN FOR THE ROADS AND APPURTENANT DRAINAGE STRUCTURES PRIOR TO FINAL RELEASE OF THE RESTRICTIVE COVENANT OR SUBSEQUENT PERFORMANCE GUARANTEE.
- FOLLOWING ACCEPTANCE OF THE STREETS, THE TOWN OF STOW MAINTENANCE RESPONSIBILITIES SHALL FOLLOW STANDARD PROCEDURES FOR TOWN STREETS AND WAYS. THEY SHALL BE LIMITED TO THE FOLLOWING STANDARD PROCEDURES FOR TOWN STREETS AND ASSOCIATED WITH THEIR FUNCTION AS A STREET, IMPROVEMENTS LOCATED WITHIN THE STREET LAYOUTS AND ASSOCIATED WITH THEIR FUNCTION AS A STREET, AND TO ANY IMPROVEMENTS ASSOCIATED WITH STREET DRAINAGE LOCATED WITHIN DESIGNATED UTILITY EASEMENTS. THE MAINTENANCE OF ALL PRIVATE UTILITIES AND SERVICES LOCATED WITHIN OR OUTSIDE THE STREET LAYOUT OR SAID EASEMENTS AND OF ANY PRIVATE DRAINAGE FACILITIES FEEDING INTO DRAINAGE STRUCTURES WITHIN THE STREET LAYOUTS OR EASEMENTS SHALL NOT BE THE RESPONSIBILITY OF THE TOWN OF STOW. THE RESPONSIBILITY FOR THEIR MAINTENANCE AND RELATED EASEMENTS SHALL BE ASSIGNED TO THE BENEFITING LANDOWNERS.
- IT WILL BE THE SUBDIVIDER'S RESPONSIBILITY TO REQUEST INSPECTION BY AN AUTHORIZED INSPECTOR PROVIDED BY THE STOW PLANNING BOARD AT THE FOLLOWING PROGRESS STEPS, AT A REASONABLE HOUR: (TOWN OF STOW RULES AND REGULATIONS GOVERNING THE SUBDIVISION OF LAND, SECTION 10.5.3)
- SEC 10.5.3.1 FOLLOWING THE INSTALLATION OF ALL UNDERGROUND DRAINAGE UTILITIES, PRIOR TO BACKFILLING.
- SEC 10.5.3.2 FOLLOWING PREPARATIONS OF THE STREET SUBGRADE AND SHOULDERS.
- SEC 10.5.3.3 FOLLOWING SPREADING AND COMPACTION OF THE GRAVEL BASE, PRIOR TO APPLICATION OF THE BINDER COURSE ON THE STREET.
- SEC 10.5.3.4 DURING THE APPLICATION OF THE BINDER COURSE ON THE STREET TO ASSURE PROPER DEPTH OF PAVEMENT.
- SEC 10.5.3.5 IMMEDIATELY PRIOR TO AND DURING THE APPLICATION AND COMPACTION OF THE SURFACE COURSE ON THE STREET.
- SEC 10.5.3.6 FOLLOWING THE COMPLETION OF ALL IMPROVEMENTS AND INSTALLATION OF BOUNDS.
- SEC 10.5.3.7 BEFORE ACCEPTANCE BY THE TOWN AT ANNUAL TOWN MEETING.
- SEC 10.5.3.8 AT SUCH OTHER INTERVALS AS MAY BE DEEMED NECESSARY TO ASSURE PROPER CONSTRUCTION OF IMPROVEMENTS.
- SEC 10.5.3.9 WORK NOT INSPECTED AS REQUIRED HEREIN SHALL BE EXPOSED FOR PROPER INSPECTION.

LIGHTING:

- STREET LIGHTS SHALL NOT BE REQUIRED WITHIN PROJECT.
- NO EXTERNAL LIGHTING SHALL SHINE ON ADJACENT PROPERTIES OR TOWARDS ANY STREET IN SUCH A MANNER AS TO CREATE A NUISANCE OR HAZARD. ALL EXTERIOR LIGHTING SHALL COMPLY WITH SECTION 3.8.1.5 OF THE ZONING BYLAW. ALL LIGHT FIXTURES WITH A RATED OUTPUT OF 2,000 LUMENS OR MORE MUST BE FULL CUTOFF FIXTURES.
- A PHOSPHOROUS FERTILIZER RESTRICTION SHALL BE REQUIRED ON ALL LOTS. SAID RESTRICTION SHALL BE NOTED IN THE DEEDS OF THE PROPERTIES CREATED.
- CONSTRUCTION TRAFFIC SHALL BE DIRECTED TOWARDS SUDBURY ROAD.
- FILL SHALL BE COMPATIBLE WITH THE ONSITE SOIL TYPES WITHIN THE SUBDIVISION
- THE MINING OF MATERIAL BENEATH THE STORMWATER BASINS IS PROHIBITED.
- USE OF PHOSPHORUS MINERALS SHALL BE RESTRICTED DUE TO TMDL LIMITATIONS ASSOCIATED WITH THE ASSABET RIVER.
- OPEN LAND:
- IN THE EVENT THAT A TRAIL SYSTEM IS PROPOSED ON THE OPEN LAND, THE TRAIL LOCATION AND DESIGN SHALL BE REVIEWED AND APPROVED BY THE STOW CONSERVATION COMMISSION PRIOR TO COMMENCEMENT OF TRAIL CONSTRUCTION.



195 of 2020 15/19



STOW PLANNING BOARD

Geri Clark
James Kelleher
John Blum
Margaret Steele

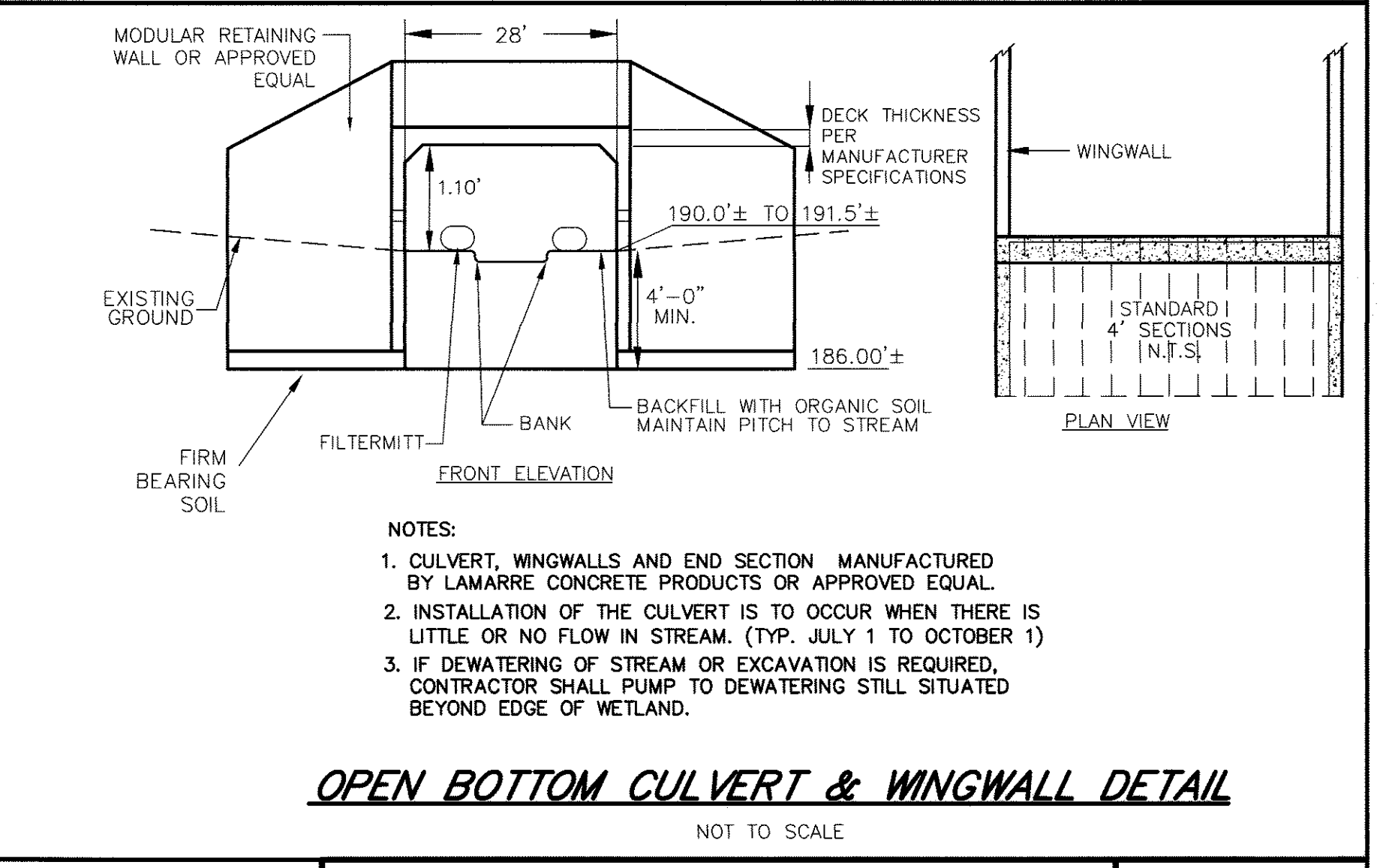
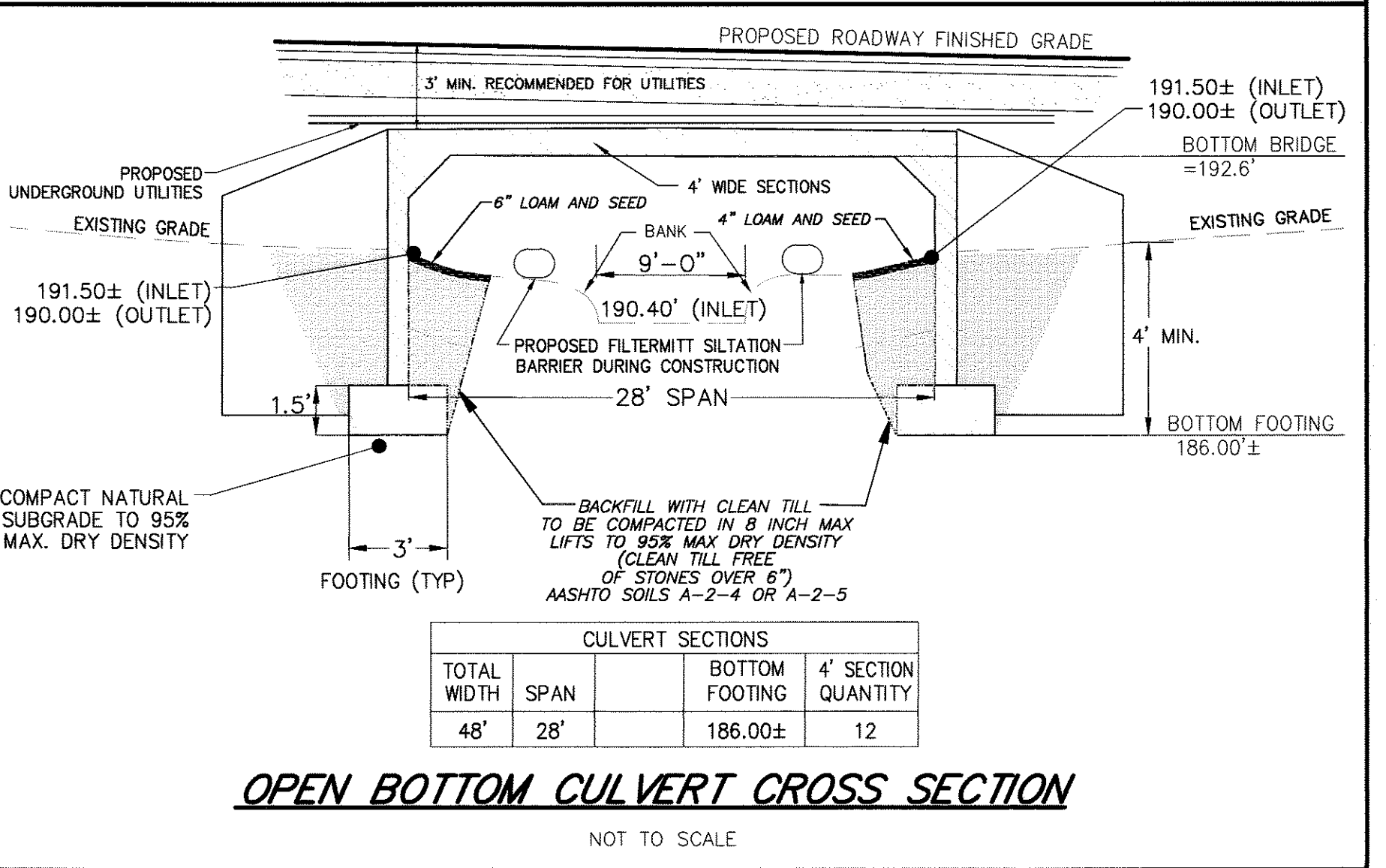
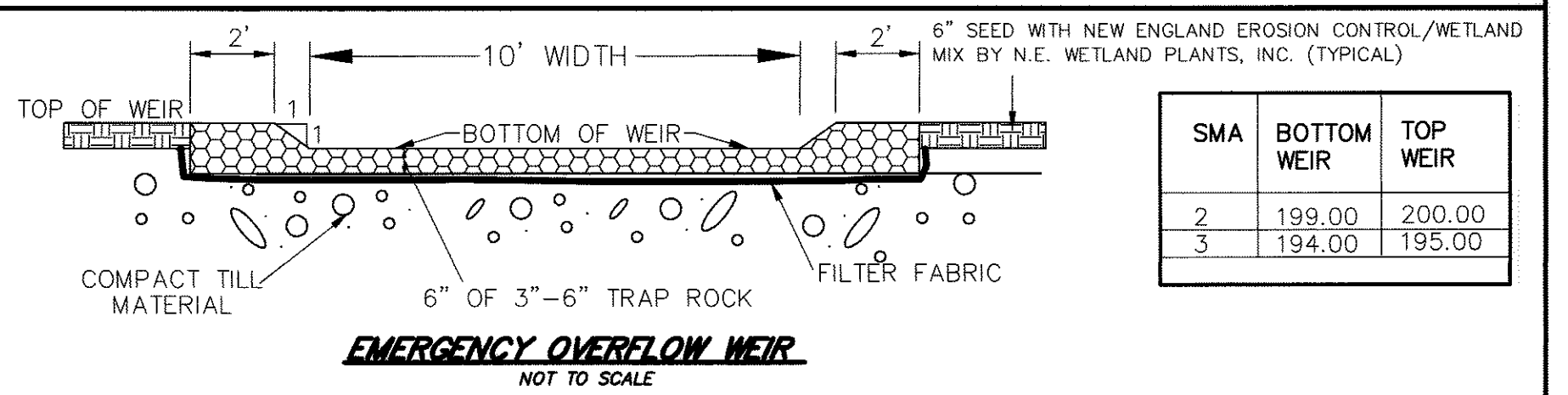
DATE: August 27, 2019

TOWN CLERK: *Janis E. Hathaway*

APPROVAL DATE: DECEMBER 12, 2017

ENDORSEMENT DATE: 8.20.2019

I, CLERK OF THE TOWN OF STOW, MASSACHUSETTS HEREBY CERTIFY THE NOTICE OF THE APPROVAL OF THIS PLAN BY THE STOW PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.



DEFINITIVE SUBDIVISION PLAN

JOANNE DRIVE

A PLANNED CONSERVATION DEVELOPMENT

STOW, MASSACHUSETTS

CONSTRUCTION DETAILS PLAN

FOR: LUNDY STARMER, INC.

SCALE: 1"=40'

AUGUST 4, 2017

REVISED FEBRUARY 15, 2018

REVISED SEPTEMBER 24, 2018

REVISED DECEMBER 3, 2018

STAMSKI AND McNARY, INC.

1000 MAIN STREET ACTON, MASSACHUSETTS

ENGINEERING - PLANNING - SURVEYING

0 20 40 80 120 160 FT

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STOW PLANNING BOARD

For Clerk
Bryan Sellers
John Bonalton
Margaret Atell

APPROVAL DATE: DECEMBER 12, 2017

ENDORSEMENT DATE: 8.20.2019

I, CLERK OF THE TOWN OF STOW, MASSACHUSETTS
HEREBY CERTIFY THE NOTICE OF THE APPROVAL OF
THIS PLAN BY THE STOW PLANNING BOARD HAS
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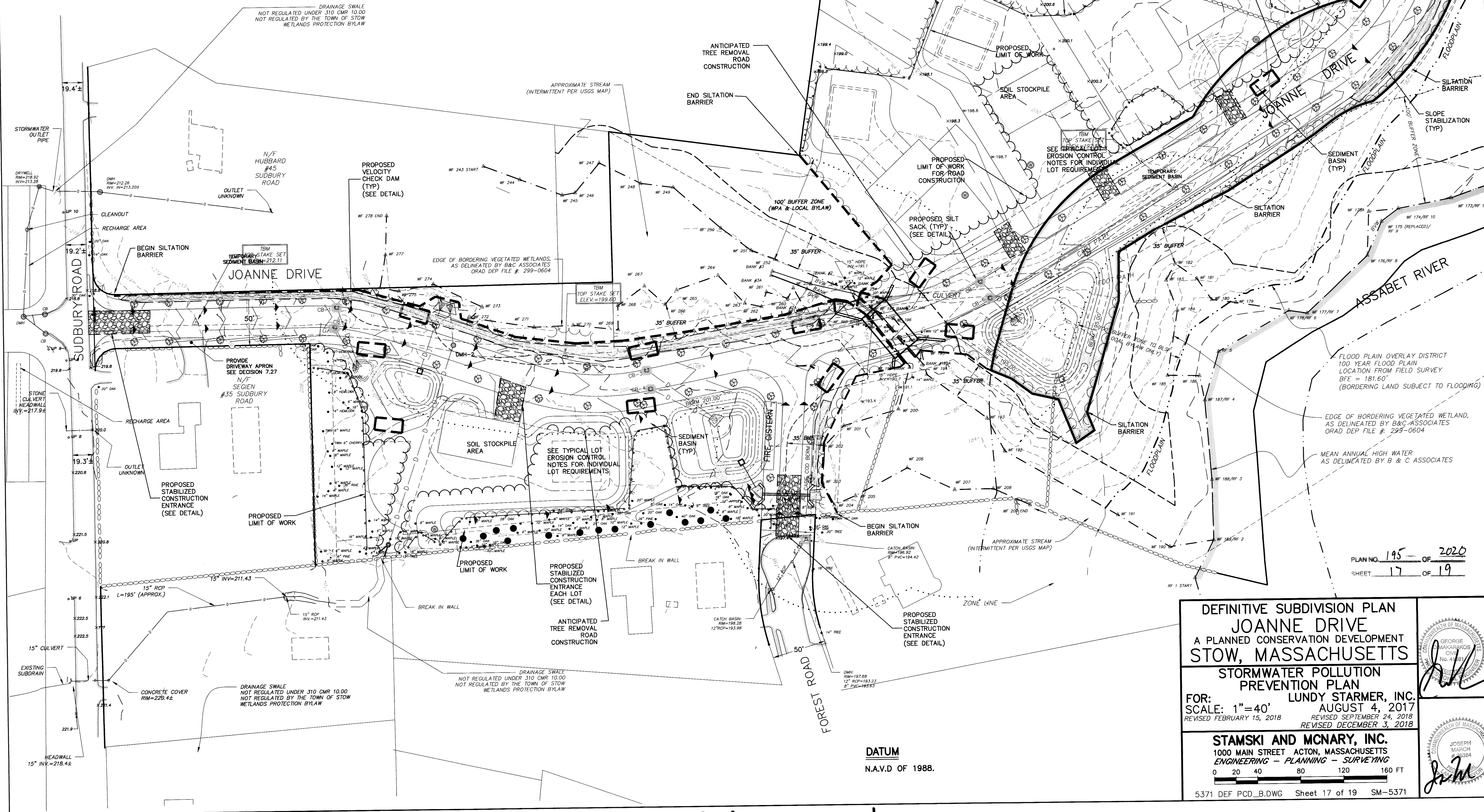
August 27, 2019
DATE

Paul E. Hathaway
TOWN CLERK

LEGEND:

- SILTATION BARRIER
- SOIL STOCKPILE AREA
- TEMPORARY SEDIMENT BASIN
- VELOCITY CHECK DAM
- SILT SACK
- STABILIZED CONSTRUCTION ENTRANCE
- LIMIT OF WORK

PLAN 1015 OF 1973



PLAN NO. 195 OF 2020
SHEET 17 OF 19

DEFINITIVE SUBDIVISION PLAN JOANNE DRIVE A PLANNED CONSERVATION DEVELOPMENT STOW, MASSACHUSETTS

STORMWATER POLLUTION
PREVENTION PLAN
FOR: LUNDY STARMER, INC.
SCALE: 1"=40'
REVISED FEBRUARY 15, 2018
REVISED SEPTEMBER 24, 2018
REVISED DECEMBER 3, 2018

STAMSKI AND MCNARY, INC.
1000 MAIN STREET ACTON, MASSACHUSETTS
ENGINEERING - PLANNING - SURVEYING

0 20 40 80 120 160 FT

5371 DEF_PCD_B.DWG Sheet 17 of 19 SM-5371

GEORGE MAKARAKOS
CIVIL ENGINEER
No. 41881

JOSEPH MARICH
CIVIL ENGINEER
No. 26384

DATUM
N.A.V.D OF 1988.

195 of 2020 17/19

CONSTRUCTION PHASES:

PHASE ONE: JOANNE DRIVE & FOREST ROAD WITH ASSOCIATED DRAINAGE SYSTEMS

ONE PHASE EACH: EACH LOT SHALL BE A SEPARATE PHASE.

LAND SHALL BE DEVELOPED IN INCREMENTS OF WORKABLE SIZE WHICH CAN BE COMPLETED DURING A SINGLE CONSTRUCTION SEASON. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE COORDINATED WITH THE SEQUENCE OF GRADING, DEVELOPMENT, AND CONSTRUCTION OPERATIONS. CONTROL MEASURES SUCH AS HYDROSEEDING, BERMS, INTERCEPTOR DITCHES, TERRACES, AND SEDIMENT TRAPS SHALL BE PUT INTO EFFECT PRIOR TO THE COMMENCEMENT OF EACH INCREMENT OR PHASE OF THE PROCESS.

LEGEND:

- SILTATION BARRIER
- SOIL STOCKPILE AREA
- TEMPORARY SEDIMENT BASIN
- VELOCITY CHECK DAM
- SILT SACK
- STABILIZED CONSTRUCTION ENTRANCE
- LIMIT OF WORK

STOW PLANNING BOARD

[Signature]
TOWN CLERK

APPROVAL DATE: DECEMBER 12, 2017

ENDORSEMENT DATE: 8.20.2019

PLAN NO. 195 OF 2020

SHEET 18 OF 19

I, CLERK OF THE TOWN OF STOW, MASSACHUSETTS HEREBY CERTIFY THE NOTICE OF THE APPROVAL OF THIS PLAN BY THE STOW PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

August 27, 2019
DATE

[Signature]
TOWN CLERK

PROCEDURE FOR CONSTRUCTION OF WETLAND REPLICATION AREA

1. INSTALL AND MAINTAIN SILTATION BARRIERS ON THE EDGE OF THE EXISTING WETLAND ADJACENT TO PROPOSED REPLICATION AREA AND ADJACENT TO THE PROPOSED CROSSING OF WETLAND.
2. EXCAVATE AND GRADE THE REPLICATION AREA TO A DEPTH OF APPROXIMATELY ONE FOOT BELOW THE GRADES SHOWN ON THE REPLICATION AREA PLAN.
3. EXCAVATION OF WETLAND AREA TO BE DISTURBED BY ROADWAY CONSTRUCTION SHALL OCCUR AFTER THE REPLICATION WETLAND HAS BEEN EXCAVATED TO SUBGRADE. THE TOPSOIL OR PEAT FROM THE FILL AREA SHALL BE TRANSFERRED DIRECTLY TO THE REPLICATION AREA. DO NOT REMOVE VEGETATION, SHRUBS, ROOTBALLS OR SMALL TREE STUMPS. TRIM VEGETATION TO MAKE IT WORKABLE. PLACE ALL ROOT CLUSTERS IN REPLICATION AREA. STOCKPILING OF MATERIAL SHALL BE ALLOWED ONLY TEMPORARILY. ADDITIONAL FILL REQUIRED TO BRING REPLICATION AREA TO GRADE SHALL BE COMPOSED OF A 50% PEAT AND 50% LOAM MIXTURE.
4. THE REPLICATION AREA SHOULD BE GRADED TO BE LEVEL WITH THE ADJACENT NATURAL WETLAND. HAND LEVELING AND RAKING SHALL BE USED TO AVOID SOIL COMPACTION. ANY POTHOLES OR DEPRESSIONS SHOULD BE FILLED TO AVOID STAGNANT PUDDLES. ANY BERMS RESULTING BETWEEN THE CREATED AND NATURAL WETLANDS SHOULD BE REMOVED TO ALLOW UNRESTRICTED HYDRAULIC CONNECTION.
5. REPLICATION AREA SHALL THEN BE PLANTED ACCORDING TO THE WETLAND REPLICATION SCHEMATIC. EXPOSED SOILS IN REPLICATION AREA SHALL THEN BE SEEDED WITH NEW ENGLAND WETMIX, BY NEW ENGLAND WETLAND PLANTS, INC., OR APPROVED EQUAL AT 1 LB/5000 SF.
6. SIDE SLOPES AT THE REPLICATION AREA SHALL NOT EXCEED A 2:1 SLOPE AND SHALL IMMEDIATELY BE LOAMED AND SEED.
7. AFTER THE REPLICATION AREA HAS BEEN CONSTRUCTED, SILTATION FENCE SHALL BE PLACED BETWEEN THE REPLICATION AREA AND ANY DISTURBED UPLAND AREAS TO PREVENT SILTATION OF THE REPLICATION AREA.
8. IF AFTER ONE GROWING SEASON, WETLAND VEGETATION HAS NOT BECOME ESTABLISHED ON THE REPLICATION AREA FLOOR, A WETLANDS REPLICATION AREA PLANTING PLAN SHALL BE CARRIED OUT UNDER THE SUPERVISION OF THE STOW CONSERVATION COMMISSION CONSISTING OF THE FOLLOWING:
 - A) A 50% PEAT AND 50% LOAM MIXTURE SHALL BE HAND SPREAD THROUGHOUT REPLICATION AREAS TO LEVEL SURFACE.
 - B) REPLICATION AREA PLANTINGS SHALL THEN BE SUPPLEMENTED WITH AN EQUAL DISTRIBUTION OF RED MAPLE SAPLINGS, HIGH BUSH BLUEBERRY, SWEET PEPPERBUSH AND CINNAMON FERN, SET AT 5' RANDOM SPACING WHERE NEEDED.
 - C) REPLICATION AREA SHALL THEN BE SEEDED WITH NEW ENGLAND WETMIX, BY NEW ENGLAND WETLAND PLANTS, INC., OR APPROVED EQUAL AT 1 LB/5000 SF OVER EXPOSED SOILS.
9. THE REPLICATION AREA (EITHER VEGETATED NATURALLY OR WITH COMMERCIAL PURCHASED SUPPLEMENTS) SHOULD BE INSPECTED AT THE END OF THE FIRST AND SECOND GROWING SEASONS. REPLANTING AND REPAIRS SHOULD BE SCHEDULED AS NEEDED TO PROVIDE ADEQUATE COVER.

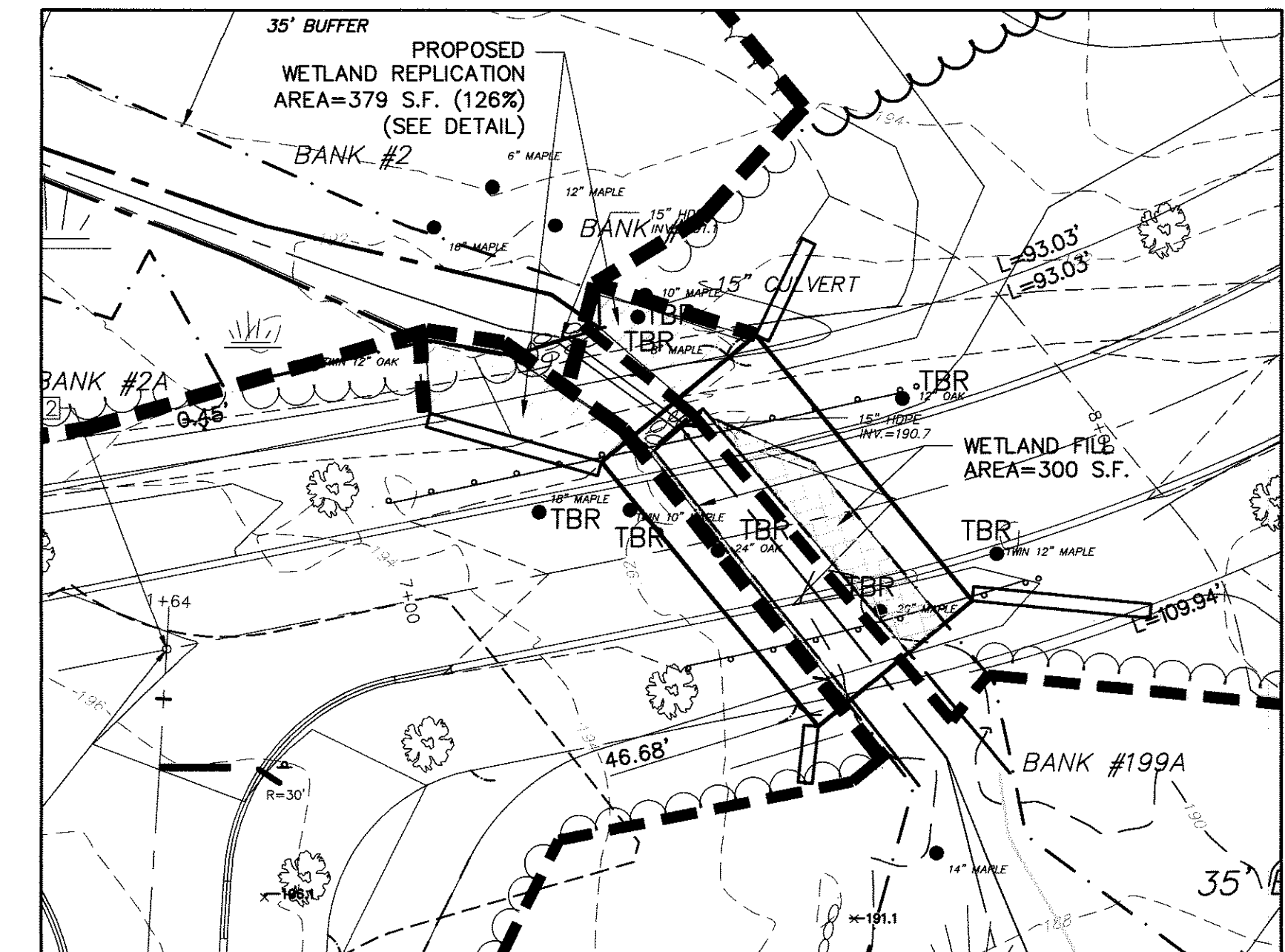
GENERAL CONSTRUCTION SEQUENCE FOR WETLAND CROSSING

- 1) INSTALL SILTATION BARRIER PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION AT ALL LOCATIONS SHOWN ON THE PLAN FOR THAT PHASE. SET SILTATION BARRIER LINES IN THE LOCATIONS STAKED BY THE DESIGN ENGINEER.
- 2) REFER TO NOTES ON DETAIL FOR CONSTRUCTION OF WETLAND REPLICATION AREA.
- 3) STRIP ORGANIC MATERIAL FROM AREA WITHIN WETLANDS CROSSING. MATERIAL SHALL BE USED IN THE REPLICATION AREA. COMPLETE WETLAND REPLICATION AREA IN COMPLIANCE WITH "WETLAND REPLICATION SCHEMATIC AND CROSS SECTION."
- 4) INSTALL OPEN BOTTOM CULVERT AND HEADWALLS.
- 5) INSTALL PROPOSED UNDERGROUND UTILITIES.
- 6) PLACE AND COMPACT GRAVEL FILL FOR ROADWAY WITHIN WETLAND CROSSING TO THE GRADES SHOWN ON THE PLAN.
- 7) STABILIZE SLOPES NEAR WETLAND FILL AREA WITH 6" OF LOAM AND HYDROSEEDING.
- 8) INSTALL ROADWAY SURFACE TO THE WIDTH SHOWN ON THE PLAN.
- 9) LOAM AND SEED ALL DISTURBED SURFACES WHICH HAVE NOT BEEN STABILIZED.
- 10) REMOVE SILTATION BARRIERS AFTER ALL VEGETATION IS ESTABLISHED AND THE APPROVING AUTHORITY HAS ISSUED A CERTIFICATE OF COMPLIANCE.

TYPICAL LOT EROSION CONTROL NOTES

1. EACH LOT IS SUBJECT TO THE REQUIREMENTS AND COMPLIANCE WITH THE EROSION CONTROL SPECIAL PERMIT REGARDLESS OF ITS LOCATION ON THE SITE. ADDITIONAL CONDITIONS MAY APPLY TO LOTS WITH PROPOSED WORK WITHIN THE BUFFER ZONE OF AN AREA SUBJECT TO PROTECTION BY THE WETLANDS PROTECTION ACT AND/OR THE STOW WETLANDS PROTECTION BYLAW.
2. EACH LOT SHALL COMPLY WITH THE FOLLOWING:
 - A. LIMIT OF WORK SHALL BE MARKED ON THE LOT PRIOR TO CLEARING AND CONSTRUCTION.
 - B. STRAWBALE SILTATION BARRIERS SHALL BE INSTALLED IF REQUIRED WITHIN BUFFER ZONE.
 - C. SILTATION BARRIER SHALL BE INSTALLED ALONG THE FRONTAGE OF ACTIVE LOTS DURING WINTER. (SEE NOTE 3K)
 - D. SILTATION FENCE SHALL BE INSTALLED ALONG DOWN GRADIENT LIMIT OF WORK LINE.
 - E. UPGRADIENT LIMIT OF WORK LINE SHALL BE MARKED WITH FLAGGING.
 - F. A STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROVIDED AT DRIVEWAY (SEE DETAIL).
 - G. A STRAWBALE SILTATION FENCE SHALL BE INSTALLED ALONG DISTURBED STREET FRONTAGE.
 - H. A CRUSHED STONE BERM SHALL BE PROVIDED IF RUNOFF IS CONCENTRATED TOWARDS STREET.
 - I. ALL DISTURBED AREAS SHALL RECEIVE 6" OF LOAM AND SHALL BE SEED.
 - J. STRAW MULCH OR EROSION MATS SHALL BE USED ALONG SLOPES DURING WINTER.
 - K. SEDIMENT SUMPS SHALL BE PROVIDED ON LOT.
 - L. SEDIMENT SHALL BE REMOVED FROM ROAD DAILY.
 - M. EROSION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED UNTIL VEGETATION IS ESTABLISHED AND APPROVED.
3. WINTER PREPARATION EROSION CONTROL NOTES
 - A. STRAW MULCH ALL UNVEGETATED CUT AND FILL SLOPES OR PROVIDE EROSION CONTROL MATS.
 - B. INSTALL STRAWBALES AND/OR EARTHEN BERMS ALONG TOP OF UNVEGETATED SLOPES TO DIVERT RUNOFF.
 - C. PROVIDE ADDITIONAL TEMPORARY SEDIMENT SUMPS ALONG BASE OF SLOPES IF AVAILABLE.
 - D. COVER ROAD SHOULDERS (10' WIDTH) WITH EROSION CONTROL MATS.
 - E. REMOVE ALL EXISTING SEDIMENT FROM CATCH BASINS AND DRAINAGE BASINS TO MAXIMIZE SEDIMENT STORAGE.
 - F. PROVIDE ADDITIONAL SEDIMENT FOREBAYS ON LOTS TO MINIMIZE RUNOFF CONCENTRATIONS.
 - G. MAINTAIN EXISTING VEGETATION ON LOTS THROUGH WINTER SEASON.
 - H. REFRESH ALL EXISTING EXISTING EROSION CONTROL MEASURES.
 - I. PROVIDE CRUSHED STONE BERMS UPGRADIENT OF CATCH BASINS (IF PAVED).
 - J. PROVIDE CRUSHED STONE BERMS WITHIN EXISTING SWALES AND SHOULDERS.
 - K. PRIOR TO ONSET TO OF WINTER ON ACTIVE LOTS, EROSION CONTROLS SHALL BE INSTALLED ALONG FRONTAGE TO LIMIT ACCESS TO THE CONSTRUCTION ENTRANCE.

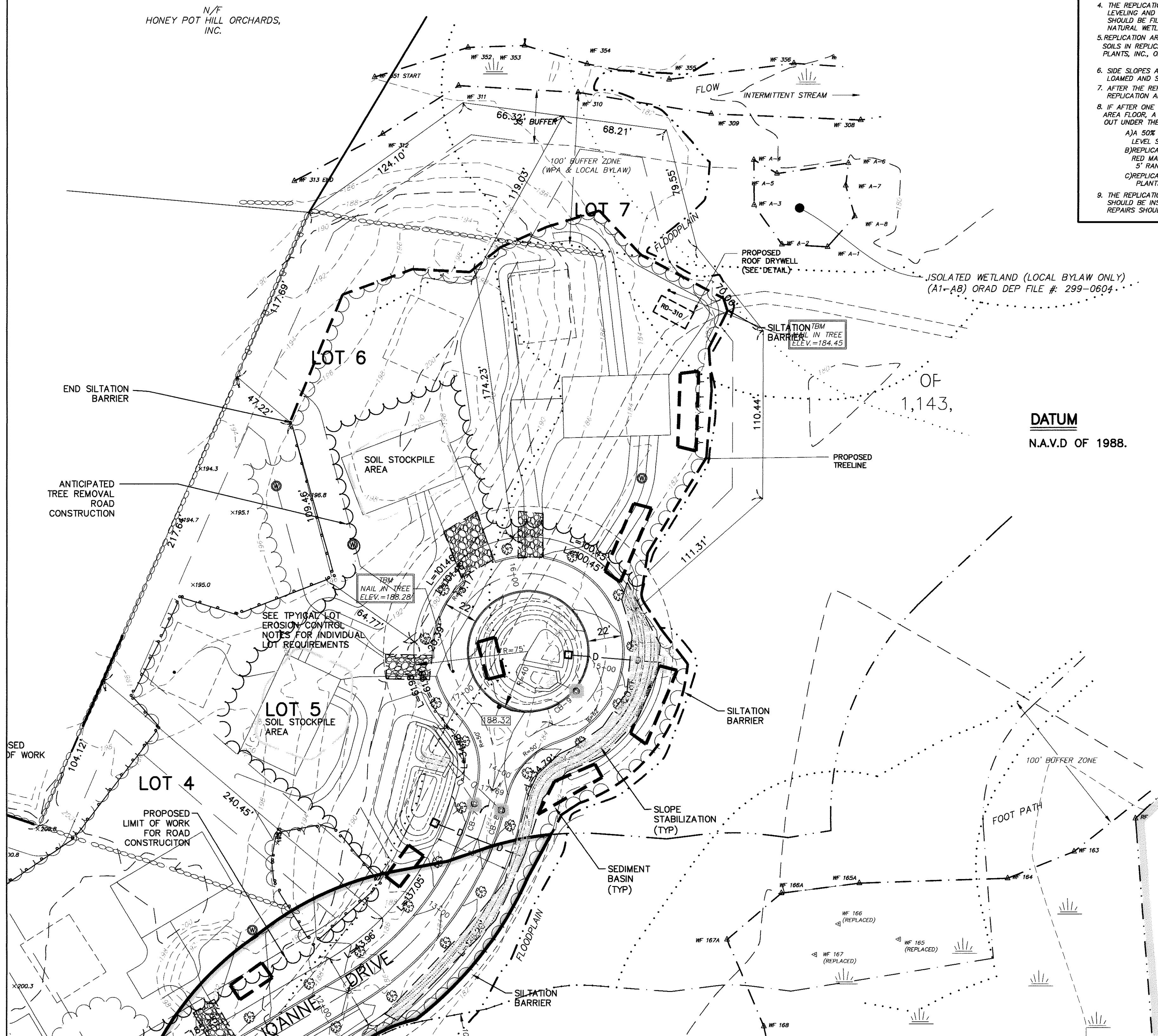
*APPLY ADDITIONAL CONTROL MEASURES AS DIRECTED BY PLANNING BOARD OR REPRESENTATIVE.



SCALE: 1"=20' STREAM CROSSING DETAIL

NOTES:

1. DELINEATE UPLAND EDGE OF BVW/BANK LINE PRIOR TO TREE REMOVAL AND INSTALL SILTATION CONTROLS ALONG EDGE OF RESOURCE AREA.
2. INSTALL ADDITIONAL TEMPORARY SILTATION CONTROLS WITHIN RESOURCE AREA.
3. ANY TEMPORARY DISTURBANCE TO RESOURCE AREAS RESULTING FROM VEGETATION REMOVAL AND/OR INSTALLATION OF CULVERT SHALL BE RETURNED TO EXISTING GRADES.



PLAN NO. 195 OF 2020

SHEET 18 OF 19

DEFINITIVE SUBDIVISION PLAN
JOANNE DRIVE
A PLANNED CONSERVATION DEVELOPMENT
STOW, MASSACHUSETTS

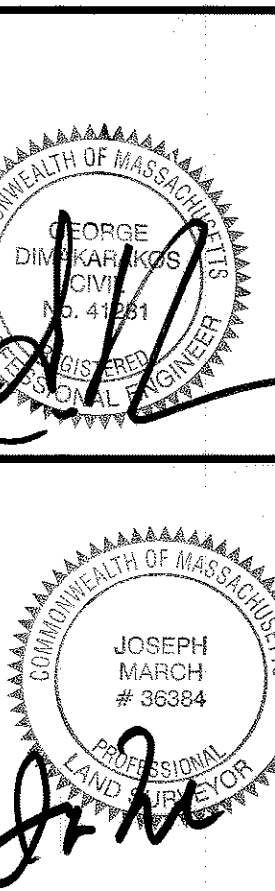
STORMWATER POLLUTION
PREVENTION PLAN

FOR: LUNDY STARMER, INC.
SCALE: 1"=40'
REVISED FEBRUARY 15, 2018
AUGUST 4, 2017
REVISED SEPTEMBER 24, 2018
REVISED DECEMBER 3, 2018

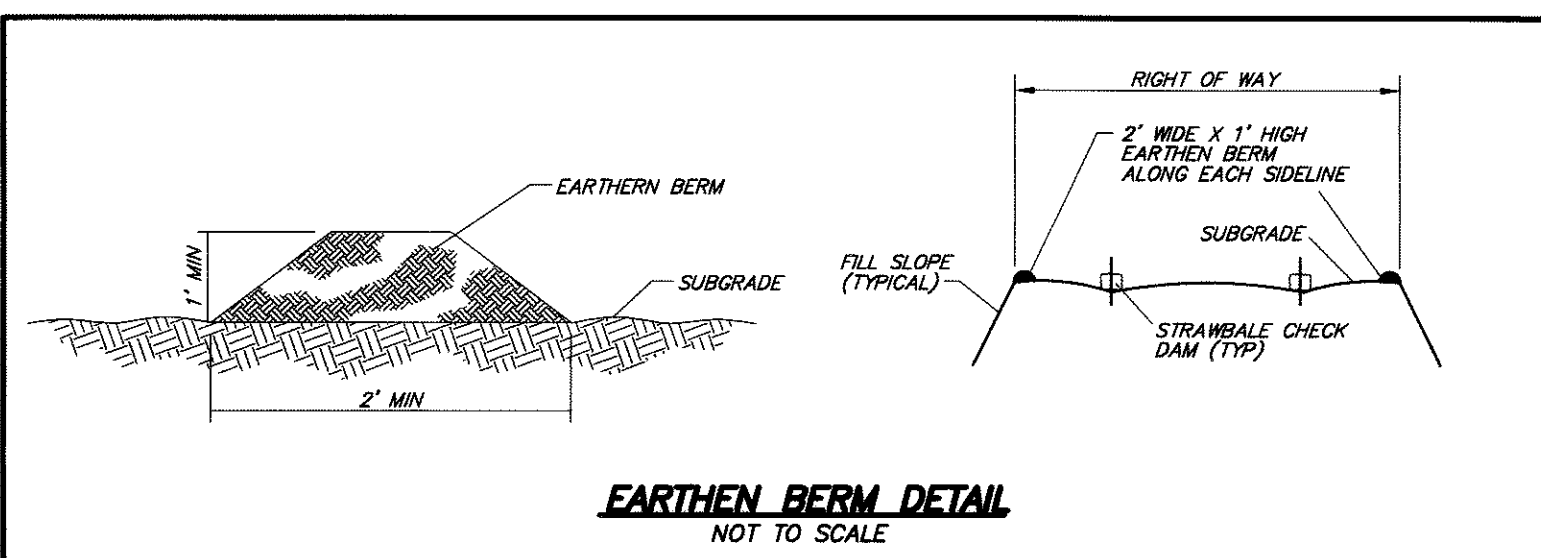
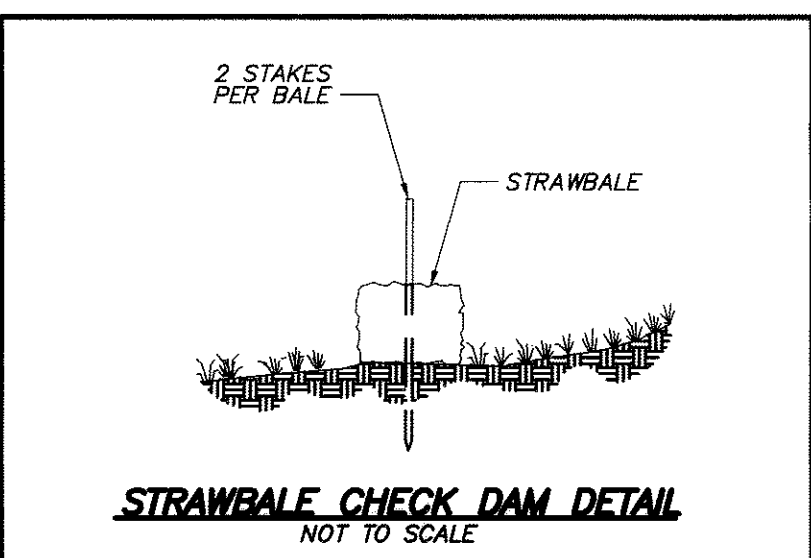
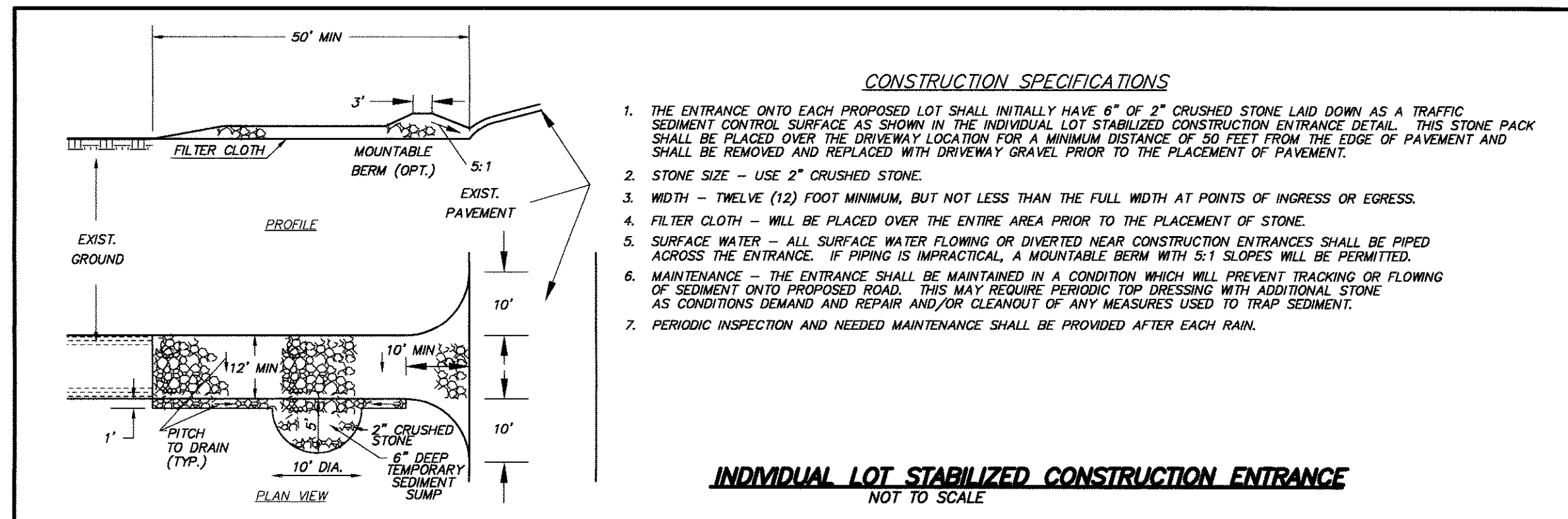
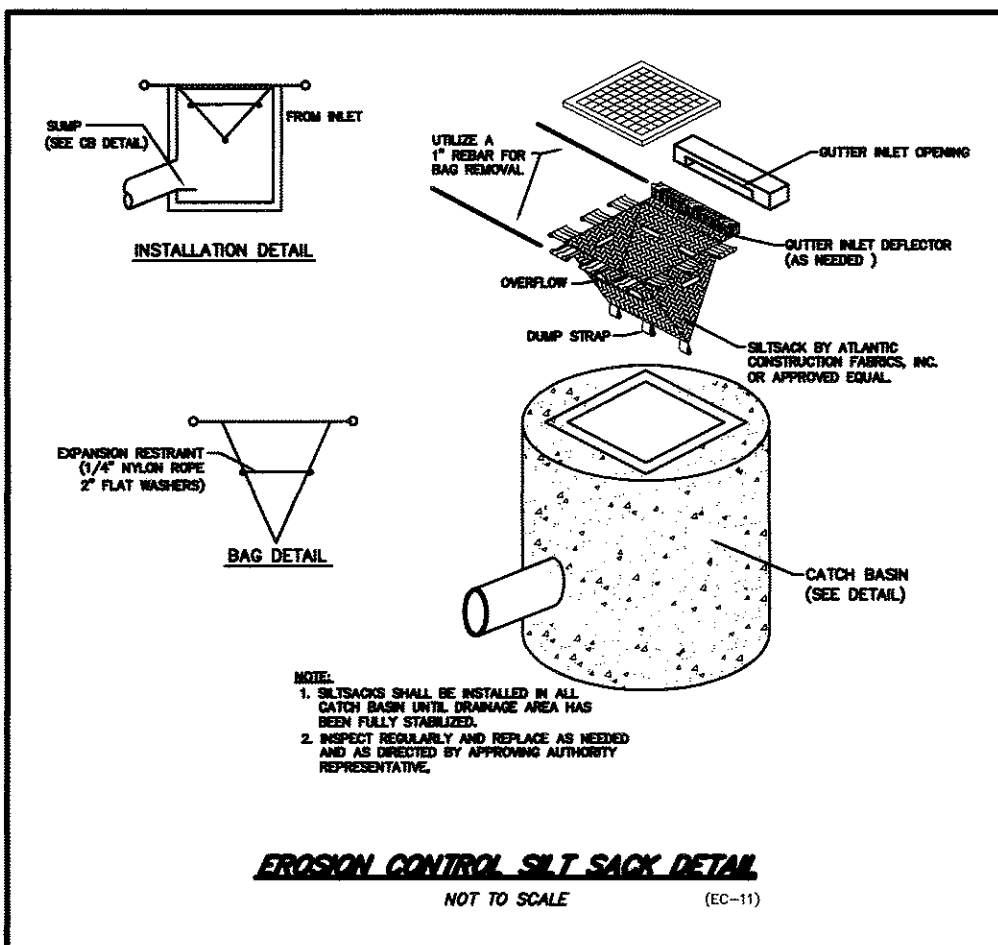
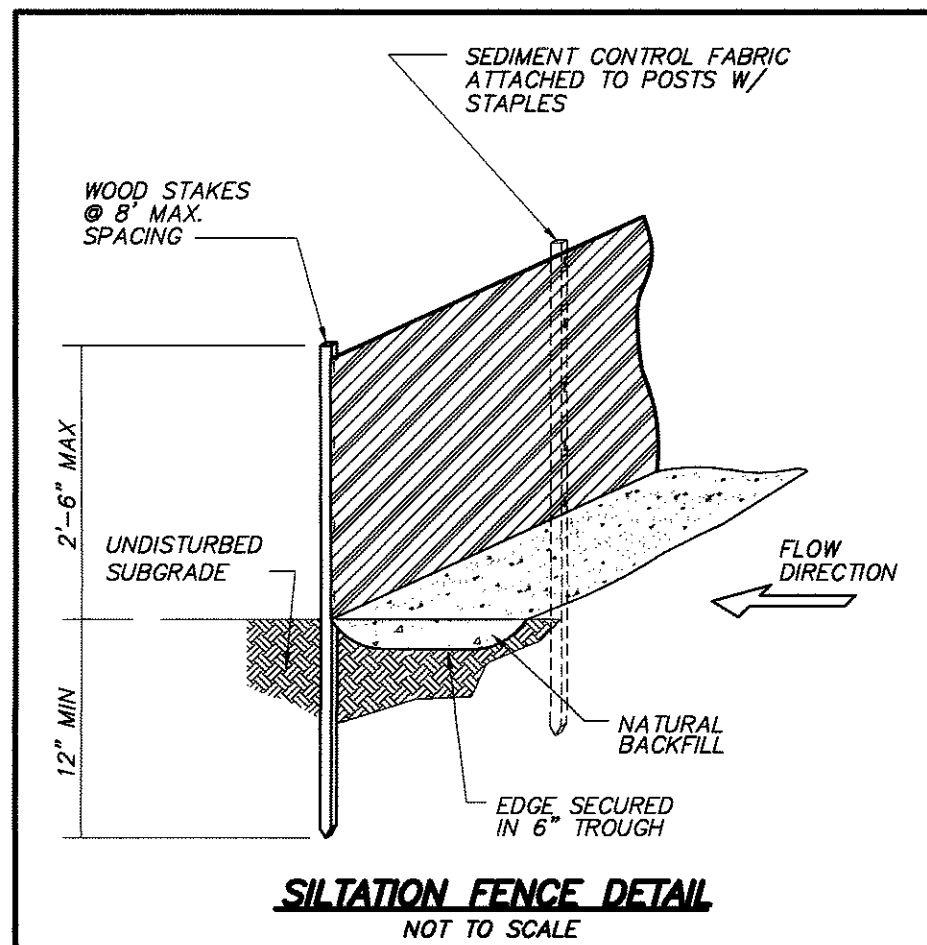
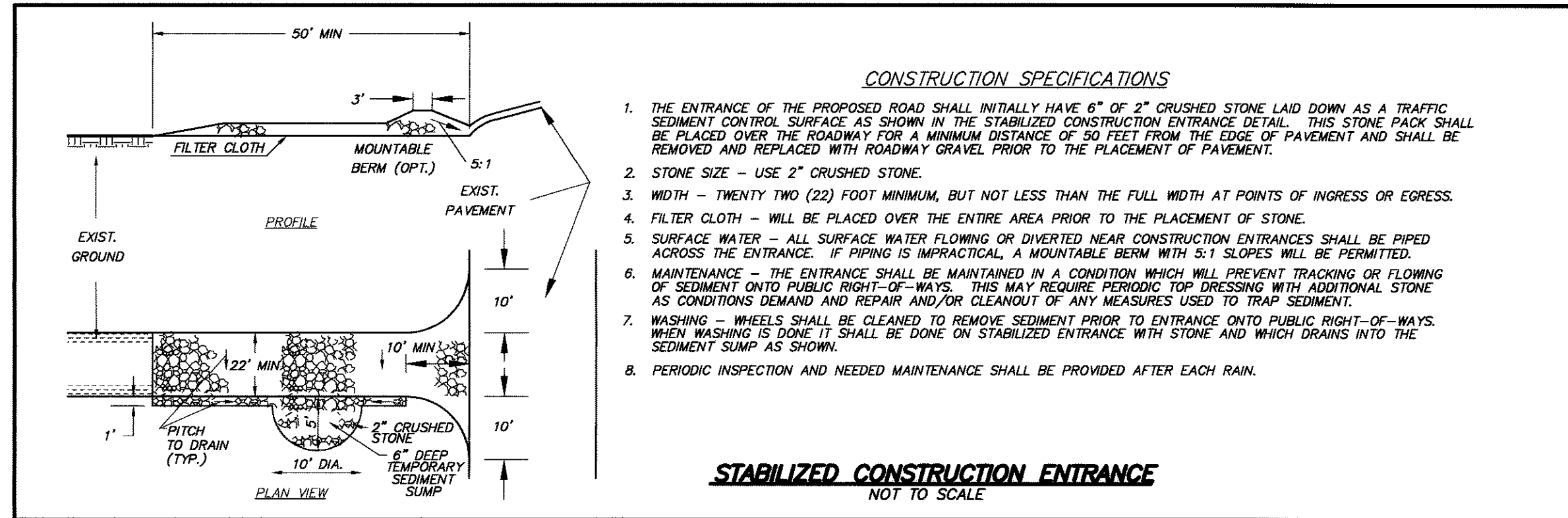
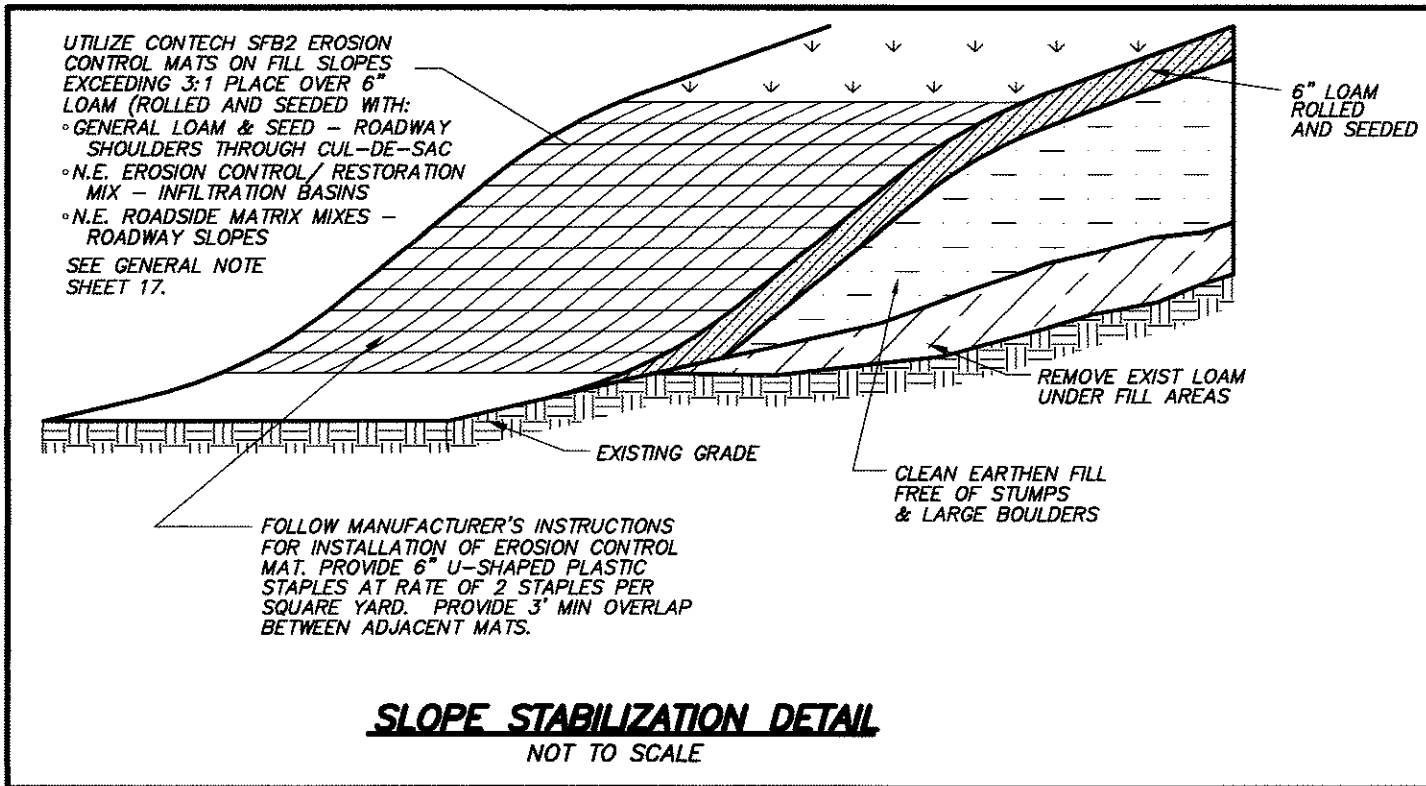
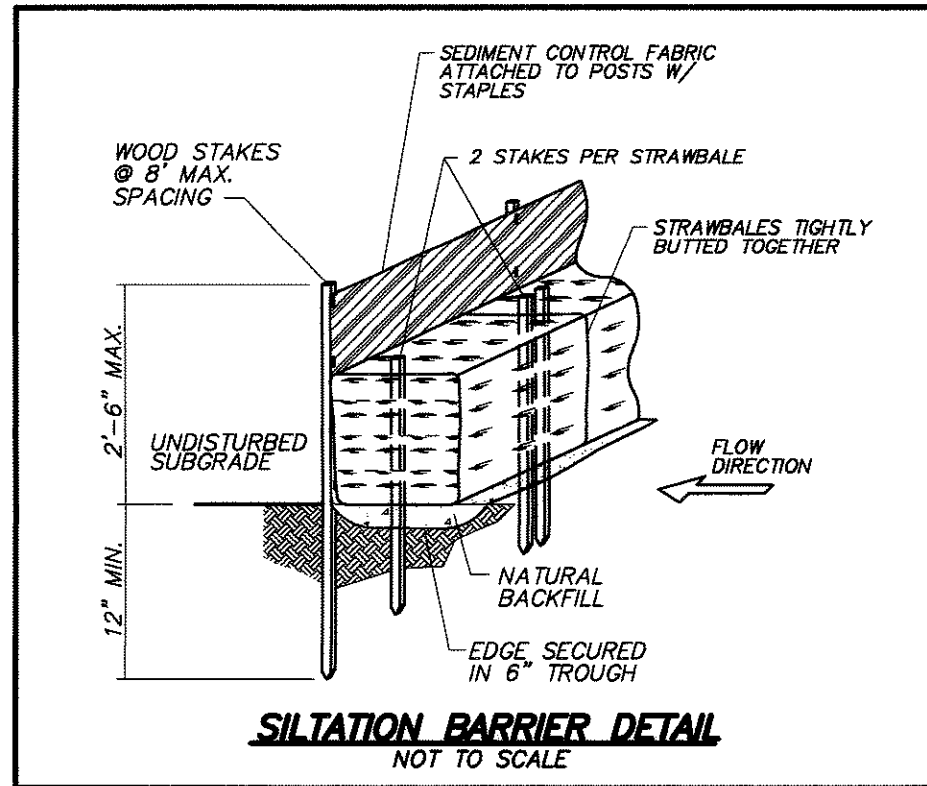
STAMSKI AND MCNARY, INC.
1000 MAIN STREET ACTON, MASSACHUSETTS
ENGINEERING - PLANNING - SURVEYING

0 20 40 80 120 160 FT

5371 DEF_PCD_B.DWG Sheet 18 of 19 SM-5371



195 of 2020 18/19



Street Trees and other Vegetation:

Deciduous shade street trees shall be planted approximately 10 feet from the street sidewalk where trees are lacking. Where there is a sidewalk provided in the street layout, the street trees shall be planted in the green strip that is provided between the edge of pavement and the sidewalk. Trees shall be planted on both sides of the street at not more than 40 foot intervals along the entire length of the subdivision roads.

A. Species – The species of street trees shall be selected from deciduous shade trees of Zone 4 hardiness and shall be of licensed nursery stock with good root development and branching characteristics. Existing trees may be preserved as street trees if inspected and approved by the Stow Tree Warden.

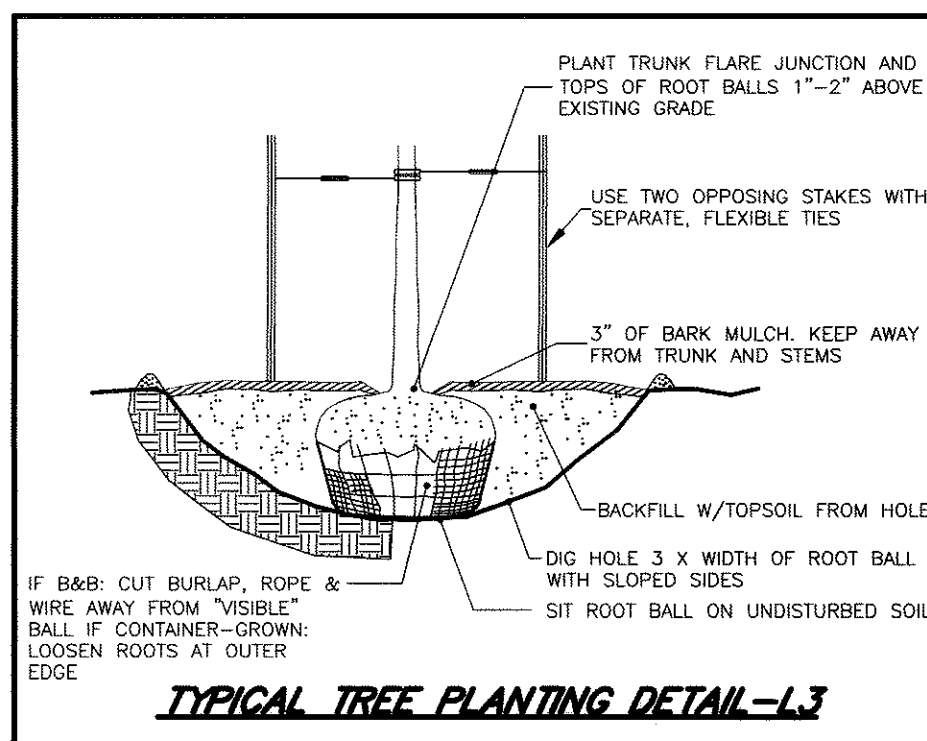
B. Size – Street trees shall be a minimum of two and one-half inches (2 1/2") in caliper measured four feet (4') above the ground, and shall be ten (10') to twelve feet (12') of height in place.

C. Planting – Street trees shall be planted at their previous depth in good quality topsoil and shall be securely staked.

D. Slopes – All cut and fill slopes within or contiguous to the street right-of-way shall be planted with suitable, well-rooted, low growing plant materials as determined by the Board. Wood chips, mulch, seeding or sodding shall be used to eliminate erosion. The Board may require alternative measures, appropriate in the opinion of the Board, for slopes equal to or greater than 3:1.

E. Cleared Areas – All cleared areas of the street right-of-way, not to be planted with groundcover, and all disturbed area within public easements, shall be loamed with not less than six inches (6") compacted depth of good quality loam and seeded with turf grass seed in accordance with good planting practice.

LANDSCAPING DETAILS-L1



GENERAL NOTE:

- GENERAL LOAM AND SEED: SEED MIX TO BE LOCATED WITHIN ROADWAY SHOULDERS THROUGH THE CUL-DE-SACS, AND TO CONFORM TO THE COMMONWEALTH OF MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, SECTION M6.03.0 SEED.
- NEW ENGLAND EROSION CONTROL/RESTORATION MIX: SEED MIX TO BE LOCATED WITHIN THE BOTTOM AND SIDE SLOPES OF THE INFILTRATION BASINS, AS SUPPLIED BY NEW ENGLAND WETLAND PLANTS, INC., OR APPROVED EQUAL. SEED MIX TO BE INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS.
- NEW ENGLAND ROADSIDE MATRIX MIX: SEED MIX TO BE LOCATED ON ROADWAY SIDE SLOPES, AS SUPPLIED BY NEW ENGLAND WETLAND PLANTS, INC., OR APPROVED EQUAL. SEED MIX TO BE INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS.

POLLUTION PREVENTION STANDARDS

- ALL CONSTRUCTION AND DOMESTIC WASTE SHALL BE DISPOSED OFFSITE AT AN APPROVED LOCATION. WASTE CONTAINERS SHALL BE PROVIDED AT THE START OF CONSTRUCTION. ON WORK DAYS, CLEAN UP AND DISPOSE OF WASTE IN DESIGNATED WASTE CONTAINERS. ANY OVERFLOW SHALL BE CLEANED UP IMMEDIATELY.
- PORTABLE TOILETS SHALL BE LOCATED ON SECURE GROUND IN AN AREA NOT PRONE TO FLIPPING OR BEING KNOCKED OVER.
- ALL CONCRETE AND OTHER MATERIAL WASTEWATER MUST BE DIRECTED INTO LEAK-PROOF CONTAINERS. DO NOT DUMP LIQUID WASTE INTO STORM DRAINS. DISPOSE OF WASTE PROPERLY. LOCATE ALL WASHOUT AREAS AS FAR FROM ANY SURFACE WATERS AND STORMWATER INLETS AS POSSIBLE. (SEE NOTE 4)
- ALL AMENITIES SHALL BE LOCATED PRIOR TO THE START OF EACH PHASE OF CONSTRUCTION. ALL AMENITIES SHALL BE LOCATED OUTSIDE OF ANY BUFFER ZONES OR RIVERFRONT AREA.

EROSION AND SEDIMENTATION CONTROL NOTES

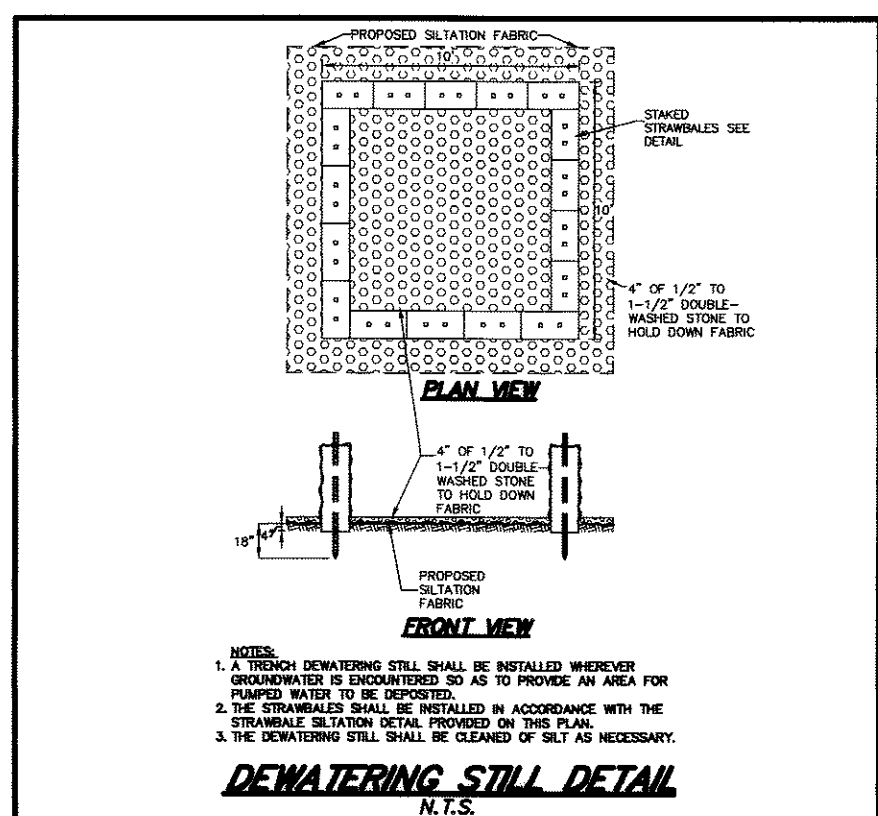
- THE SITE IS SUBJECT TO THE PERMIT REQUIREMENTS OF THE EPA NPDES PROGRAM. THE DEVELOPER SHALL SUBMIT COPIES OF SAID PERMIT AND REPORTING REQUIREMENTS TO THE PLANNING BOARD AS A CONDITION OF THE EROSION CONTROL SPECIAL PERMIT ISSUED BY THE PLANNING BOARD. DEVELOPER SHALL COMPLY WITH ANY ADDITIONAL EROSION CONTROL MEASURES IDENTIFIED BY THE NPDES PROGRAM NOT INDICATED ON THIS PLAN, IF THEY SO EXIST.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED FOR EACH PHASE PRIOR TO ANY CONSTRUCTION OCCURRING ON SITE.
- DURING DEVELOPMENT AND CONSTRUCTION, ADEQUATE PROTECTIVE MEASURES SHALL BE PROVIDED TO MINIMIZE DAMAGE FROM SURFACE WATER TO THE CUT FACE OF EXCAVATIONS OR THE SLOPING SURFACE OF FILLS. THE PLANNING BOARD RESERVES THE RIGHT TO REQUIRE ADDITIONAL MEASURES IF PROBLEMS ARE NOTED BY A REPRESENTATIVE OF THE TOWN OR APPOINTED CONSULTANT.
- LAND SHALL BE DEVELOPED IN INCREMENTS OF WORKABLE SIZE WHICH CAN BE COMPLETED DURING A SINGLE CONSTRUCTION SEASON. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE COORDINATED WITH THE SEQUENCE OF TRADING, DEVELOPMENT, AND CONSTRUCTION, OPERATIONS. CONTROL MEASURES SUCH AS HYDROSEEDING, BERMS, INTERCEPTOR DITCHES, TERRACES, AND SEDIMENT TRAPS SHALL BE PUT INTO EFFECT PRIOR TO THE COMMENCEMENT OF EACH INCREMENT OF THE DEVELOPMENT/CONSTRUCTION PROCESS.
- THE CONTRACTOR'S INSPECT AND REPAIR ALL EROSION CONTROL DEVICES, IF INTENSE RAINFALL IS PREDICTED. THE CONTRACTOR'S REPRESENTATIVE SHALL INSPECT THE CONSTRUCTION SITE AT LEAST EVERY 7 DAYS AND WITHIN 24 HOURS OF A RAINFALL OF 0.5 INCHES OR MORE. AREAS WITH SITES THAT HAVE BEEN FINALLY STABILIZED MUST BE INSPECTED AT LEAST ONCE A MONTH.
- ALL SOIL STOCK PILES SHALL HAVE EROSION CONTROL MEASURES AROUND THEIR EDGES AT ALL TIMES. SOIL STOCK PILES SHALL BE COVERED WITH TEMPORARY VEGETATION OR FASTENED TARPULIN SHEETS.
- DURING ROAD CONSTRUCTION, THE CONTRACTOR SHALL MAINTAIN A ONE FOOT HIGH BY TWO FOOT WIDE EARTHERN BERM ALONG THE EDGES OF THE ROADWAY TO DIVERT RUNOFF TO A SEDIMENT BASIN. STRAWBALES MAY BE UTILIZED TO DIVERT RUNOFF FROM THE ROADWAY LOW POINTS TO THE SEDIMENT BASIN DURING CONSTRUCTION UNTIL THE DRAINAGE SYSTEM IS INSTALLED (SEE EARTHERN BERM DETAIL.)
- ALL CATCH BASIN AND MANHOLE RIMS SHALL BE COVERED WITH SILTATION FABRIC DURING CONSTRUCTION. CATCH BASIN GRATES ARE TO BE SET AT BINDER GRADE UNTIL IT IS TIME TO APPLY THE PAVEMENT WEARING COURSE.
- ALL CATCH BASIN SUMPS AND DRAINAGE BASINS SHALL BE CLEANED DURING AND FOLLOWING CONSTRUCTION. THEREAFTER REFER TO OPERATION AND MAINTENANCE PLAN FILED WITH NOTICE OF INTENT.
- SEDIMENT BASINS (DEBRIS, BASINS, DE-SILTING BASINS, OR SILT TRAPS) SHALL BE INSTALLED IN CONJUNCTION WITH THE INITIAL GRADING OPERATIONS AND MAINTAINED THROUGH THE DEVELOPMENT PROCESS TO REMOVE SEDIMENT FROM RUNOFF WATERS DRAINING FROM LAND UNDERGOING DEVELOPMENT.
- THE DEVELOPER IS REQUIRED TO CLEAN UP ANY SAND, DIRT, OR DEBRIS WHICH ERODES FROM THE SUBDIVISION ONTO ANY PUBLIC STREET OR PRIVATE PROPERTY, AND TO REMOVE SILT OR DEBRIS THAT ENTERS ANY EXISTING DRAINAGE SYSTEM INCLUDING CATCH BASIN SUMPS, PIPE LINES, MANHOLES AND DITCHES.
- VELOCITY CHECK DAMS – STRAWBALES WILL BE USED AROUND THE CATCH BASINS ON THE PROPOSED STREETS TO PROTECT THEM FROM THE ERODING SOILS AND PROVIDE A CHECK DAM* TO SLOW THE RUNOFF DURING THE CONSTRUCTION. THE DEVELOPER SHALL PROVIDE VELOCITY CHECK DAMS* IN ALL UNPAVED STREET AREAS AT THE INTERVALS INDICATED BELOW:

GRADE OF THE STREET	INTERVALS BETWEEN CHECKDAMS
LESS THAN 4%	100 FEET
4% TO 10%	50 FEET
OVER 10%	25 FEET

THE DEVELOPER SHALL PROVIDE VELOCITY CHECK DAMS* IN ALL UN-VEGETATED OR UNPAVED CHANNELS AT THE INTERVALS INDICATED BELOW:

GRADE OF THE CHANNEL	INTERVALS BETWEEN CHECK DAMS
LESS THAN 3%	100 FEET
3% TO 6%	50 FEET
OVER 6%	25 FEET

- ALL CUT AND FILL SLOPES SHALL BE IMMEDIATELY COVERED WITH 6" LOAM AND SEEDED DURING THE GROWING SEASON (APRIL 1 TO NOVEMBER 1) OR COVERED WITH A STRAW MULCH DURING THE NON-GROWING SEASON (NOVEMBER 1 TO APRIL 1). IN AREAS SUBJECT TO THE WETLANDS PROTECTION ACT, THE STRAW MULCH AND/OR REQUIRED MEASURES SHALL REMAIN IN PLACE UNTIL PERMANENT VEGETATION IS RE-ESTABLISHED.
- DISTURBED AREAS WHERE CONSTRUCTION HAS PERMANENTLY OR TEMPORARILY CEASED MUST BE STABILIZED WITHIN 14 DAYS OF THE LAST DISTURBANCE. AREAS WHICH WILL BE REDISTURBED WITHIN 21 DAYS DO NOT HAVE TO BE STABILIZED.
- *CHECK DAMS IN UNPAVED STREETS AND UN-VEGETATED OR UNPAVED GRADED CHANNELS BE CONSTRUCTED OF STAKED STRAW BALES OR OTHER EROSION RESISTANT MATERIALS APPROVED BY THE BOARD. THE CHECK DAMS SHALL BE INSTALLED AT THE END OF EACH WORKING DAY, AND IN THE EVENT OF RAINFALL BEING PREDICTED, THE STRAW BALES SHOULD BE SECURELY STAKED TO PREVENT OVERTURNING, FLOATATION, OR DISPLACEMENT. THEY SHALL EXTEND COMPLETELY ACROSS THE STREET OR CHANNEL AT RIGHT ANGLES TO THE CENTERLINE. ALSO, A VELOCITY CHECK DAM SHALL BE PROVIDED ALONG THE ENTRANCE OF THE LOT TO PROTECT THE PUBLIC STREETS AND ADJACENT PROPERTIES FROM THE HAZARDS OF EROSION. ALL CHECK DAMS SHALL BE CLEANED OUT OF ALL DEBRIS AND SILT PERIODICALLY.
- ADDITIONAL EROSION CONTROL MEASURES SHALL BE STOCK-PILED ON-SITE, INCLUDING BUT NOT LIMITED TO CRUSHED STONE, STRAW BALES, SILT FENCE AND EROSION CONTROL MATS.
- THE SEDIMENT SHALL BE REMOVED BEHIND ALL STRAW BALES AND SILT FENCES IF DEPTH EXCEEDS 6". SEDIMENT SHALL BE REMOVED TO OUTSIDE THE BUFFER ZONE OF THE WETLANDS WHERE APPLICABLE.
- THE EROSION CONTROL DEVICES SHALL BE MAINTAINED UNTIL ALL TRIBUTARY SURFACES ARE STABILIZED.



STOW PLANNING BOARD

Jon Cere
James Bellet
John Blom
Indegard Corbett

APPROVAL DATE: 12.12.2017

ENDORSEMENT DATE: 8.20.2019

I, CLERK OF THE TOWN OF STOW, MASSACHUSETTS HEREBY CERTIFY THE NOTICE OF THE APPROVAL OF THIS PLAN BY THE STOW PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

August 27, 2019
Linda E. Hathaway
TOWN CLERK

PLAN NO. 195 OF 2020
SHEET 19 OF 19

DEFINITIVE SUBDIVISION PLAN
JOANNE DRIVE
A PLANNED CONSERVATION DEVELOPMENT
STOW, MASSACHUSETTS

STORMWATER POLLUTION
PREVENTION PLAN

FOR: LUNDY STARMER, INC.
SCALE: 1"=40'
REVISED FEBRUARY 15, 2018
REVISED SEPTEMBER 24, 2018
REVISED DECEMBER 3, 2018

STAMSKI AND MCNARY, INC.
1000 MAIN STREET ACTON, MASSACHUSETTS
ENGINEERING – PLANNING – SURVEYING

0 20 40 80 120 160 FT

5371 DEF PCD_B.DWG Sheet 19 of 19 SM-5371

COMMONWEALTH OF MASSACHUSETTS
GEORGE MAKARAKOS
REGISTERED PROFESSIONAL ENGINEER
No. 12212
EXPIRATION DATE 12/31/2020

COMMONWEALTH OF MASSACHUSETTS
JOSEPH MARCH
REGISTERED PROFESSIONAL ENGINEER
No. 36384
EXPIRATION DATE 12/31/2020

195 of 2020 19/19